

# MANASQUAN PLANNING BOARD MEETING AGENDA

**MAY 07, 2024 7:00 PM – TUESDAY**

Please take notice that the Manasquan Planning Board will convene an in person meeting on May 07, 2024 7:00 PM at Borough Hall, Second Floor, 201 East Main Street, Manasquan, New Jersey. As a courtesy to the public this meeting may be attended via zoom. If the zoom meeting fails or gets disconnected the in-person meeting will continue without the zoom participants. You can access the meeting through the Zoom App by following the link below for your computer or phone.

## **Join Zoom Meeting**

<https://us06web.zoom.us/j/8243299920?pwd=QUxNUjlGbkNLQS9TRVBIWHVtbUd3Zz09>

**OR**

**Tel – 1-646 876 9923 US (New York)**

**Meeting ID: 824 329 9920**

**Passcode: 365120**

## **PUBLIC MEETING**

Salute to the Flag  
Roll Call  
Sunshine Law Announcement

## **OLD/NEW BUSINESS**

1. Approval of Vouchers
2. Approval of Minutes - February 6, 2024

## **RESOLUTION**

3. #17-2024 Lane, John & Michelle, 383 First Avenue - Block 186.01 Lot 17, Application #01-2024
4. #18-2024 Casazza, Carl - 372 Euclid Avenue - Block 115 Lot 8 - Application #11-2023
5. #19-2024 Golden East - 87-99 Taylor Avenue - Block 61 Lot 40.01 - Application #02-2024
6. #20-2024 Resolution Revising the Time of Special Meetings
7. #21-2024 Appointing Robert Young as Chairman

## **APPLICATION**

8. #03-2024 Nelson, Craig - 321 Cedar Avenue - Block 122 Lot 25
9. #04-2024 Hall, Mark - Hall Family Trust - 155 First Avenue - Block 177 Lot 33.03
10. #05-2024 Young, Megan, Estate of Zirkel - 139 First Avenue - Block 168 Lot 16

## **OTHER BUSINESS**

Comments from individual board members

11. Cancel May 21, 2024 Special Meeting

## **ADJOURNMENT**

March 1, 2024

Barbara Ilaria, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736



Re: Boro File No. MSPB-R2200  
Variance – Nelson  
Block 122, Lot 25  
321 Cedar Avenue  
R-2 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Site Plan, Architectural Floor Plans, and Elevations prepared by Jonathan Wolfe, AIA, of Jonathan Wolfe Architecture & Design, dated October 2, 2023.
2. Plan of Survey, prepared by Charles O'Malley, PLS, dated February 6, 2024.

The property is located in the R-2 Single-Family Residential Zone with frontage on Cedar Avenue. With this application, the applicant proposes to construct a one-story addition and covered front porch on the front of the dwelling, second story rear deck, 8'x10' detached shed, and interior renovations to the existing residential dwelling. The application is deemed complete on March 1, 2024.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
  - a. A minimum front yard setback of 25 feet is required, whereas a setback of 13.6 feet is proposed to the front porch (19.8 feet exists).
  - b. A maximum building coverage of 30% is permitted, whereas a building coverage of 37.2% is proposed (30.1% exists).
  - c. A maximum lot coverage of 45% is permitted, whereas a lot coverage of 61.8% is proposed (54.4% exists)




Re: Boro File No. MSPB-R2200  
Variance – Nelson  
Block 122, Lot 25

March 1, 2024  
Sheet 2

3. The following non-conformities exist on Lot 25 and are not proposed to be modified as part of this application:
  - a. A minimum accessory side yard setback of 5 feet is required, whereas a setback of 4.2 feet exists to the detached garage (east).
  - b. A minimum accessory rear yard setback of 5 feet is required, whereas a setback of 4.6 feet exists to the detached garage.
4. The plan should be revised to show any proposed landing and housewalk from the new front steps to the driveway or street. The material of this walkway must be indicated as there will be an increase in lot coverage if an impervious material is proposed. This may also affect the requested variance. The plan should be revised, and the exact lot coverage variance request must be provided.
5. The base flood elevation for the property is 9 (Zone AE). The existing and proposed finish first floor of the dwelling has not been provided but is not proposed to be modified. The actual finish floor elevation should be provided on the plan.
6. The location of the air conditioning unit is to be outside of the easterly side yard setback and behind the building envelope on a raised platform.
7. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed additions do not increase the building coverage by more than 500 square feet.
8. It appears that no existing trees will be removed as part of the application.
9. The applicant should confirm that there is no proposed regrading of the lot or fill to be imported.
10. It appears that the existing utility connections are proposed to be maintained and utilized for the renovated structure.
11. Any curb and sidewalk must be replaced along Cedar Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jj

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

**APPLICATION TO THE PLANNING BOARD**

\*Applicant's Name: Craig Nelson

\*Applicant's Address: 321 Cedar Avenue, Manasquan, NJ

\*Telephone Number: Home: \_\_\_\_\_ Cell: 732-241-2651

\*e-mail Address: cnelson@ultoffice.com

\*Property Location: 321 Cedar Avenue, Manasquan, NJ

\*Block: 122 Lot: 25

\*Type of Application: Bulk Variance

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

\*Date of Zoning Officer's Denial Letter: January 8, 2024

Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? Yes

\*Does the Applicant own any adjoining land? No

\*Are the property taxes paid to date? Yes

\*Have there been any previous applications to the Planning Board concerning this property? No  
(Attach copy)

\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this property? No

(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

X   
Signature of Applicant or Agent

2/12/24  
Date

10/2023

MICHAEL W. MANGAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

AMY SPERA  
Chief Financial Officer

CONSTRUCTION DEPARTMENT

Incorporated December 30, 1887

**BOROUGH OF MANASQUAN**

COUNTY OF MONMOUTH

201 EAST MAIN STREET

NEW JERSEY 08736

732-223-0544 • Fax 732-223-1300

FRANK F. DiROM Item 8.  
Supervisor of  
Construction / Code

STEVEN J. WINTERS, CFM  
Construction Official

RICHARD FUREY  
Zoning Officer

January 8, 2024

Craig Nelson  
321 Cedar Avenue  
Manasquan, NJ 08736

Re: Block: 122 Lot: 25 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.

Dear Sir:

On this date we reviewed your application for the following project.

Construct a single story side addition and a covered front porch and other interior alterations and renovations. Shed located in the rear yard.

Site plan and conceptual plans prepared by Jonathan Wolfe on December 2, 2023.

**Application denied for the following reason(s):**

Section 35-9.4 – Front Setback – 25ft. Required  
19.6ft. Existing  
13.6ft. Proposed

“ - Building Coverage – 30% Permitted  
30.1% Existing  
37.2% Proposed

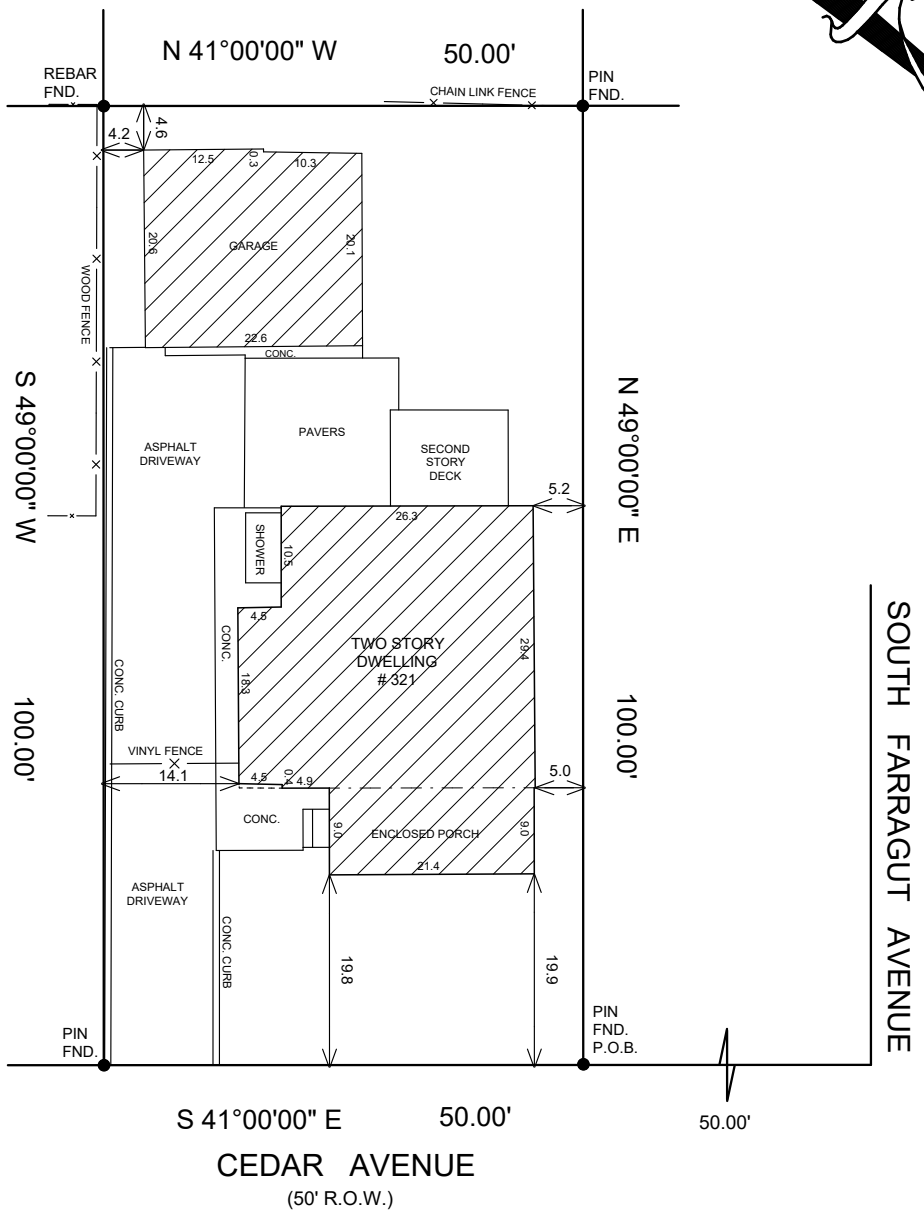
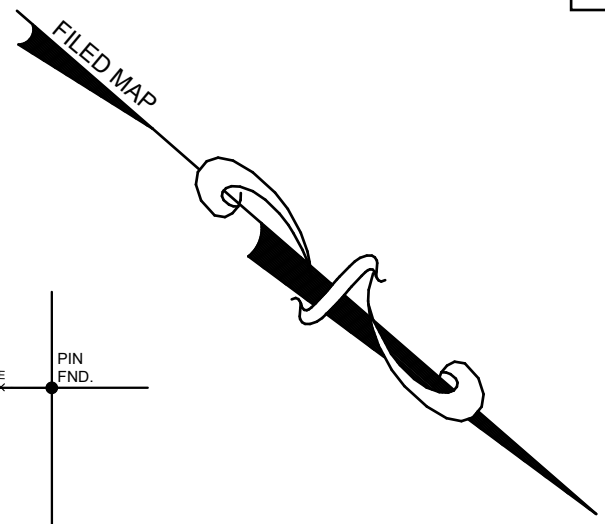
“ - Lot Coverage – 45% Permitted  
54.4% Existing  
61.8% Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

Richard Furey  
Zoning/Code Enforcement Officer



THIS SURVEY CERTIFIED TO:  
 CRAIG W. NELSON

This survey subject to any easement of record and other pertinent facts which an accurate title search might disclose. Any subsurface easements, if any, not visible are not located by this survey. Due to certain weather conditions, i.e. ice, and/or snow and/or the overgrown vegetation on the property, interior sidewalks and/or patios may not be shown on the plat. No liability is assumed by the certifying surveyor for the use by any party not shown in the certification. The work product of the surveyor constitutes an opinion of the land surveyor as to the nature and quality of the property surveyed. Moreover, that certification does not constitute a warranty, either expressed or implied as to the absolute correctness of the information presented in such survey.

BEING KNOWN AS LOTS 25 & 26 BLOCK 17 ON A MAP ENTITLED "SECTION NO. 1, MANASQUAN SHORES, BORO OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY" FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE APRIL 25, 1929 AS CASE NO. 34-5.

**CHARLES O'MALLEY, P.L.S.**  
 CHARLES O'MALLEY, PLS, LLC  
 Professional Land Surveyor  
 New Jersey Lic. No. 24GS03487100  
 908 Riverview Drive  
 Brielle, New Jersey 08730  
 (732) 223-3141

**PLAN OF SURVEY**  
 LOT 25 BLOCK 122  
 BOROUGH OF MANASQUAN  
 MONMOUTH COUNTY  
 NEW JERSEY

Drawn By clom	Chk'd By C.O'M.	File No. 24-17561	Date 2/6/24	Scale 1" = 20'
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# PROPOSED ADDITION & RENOVATION: 321 CEDAR AVE.

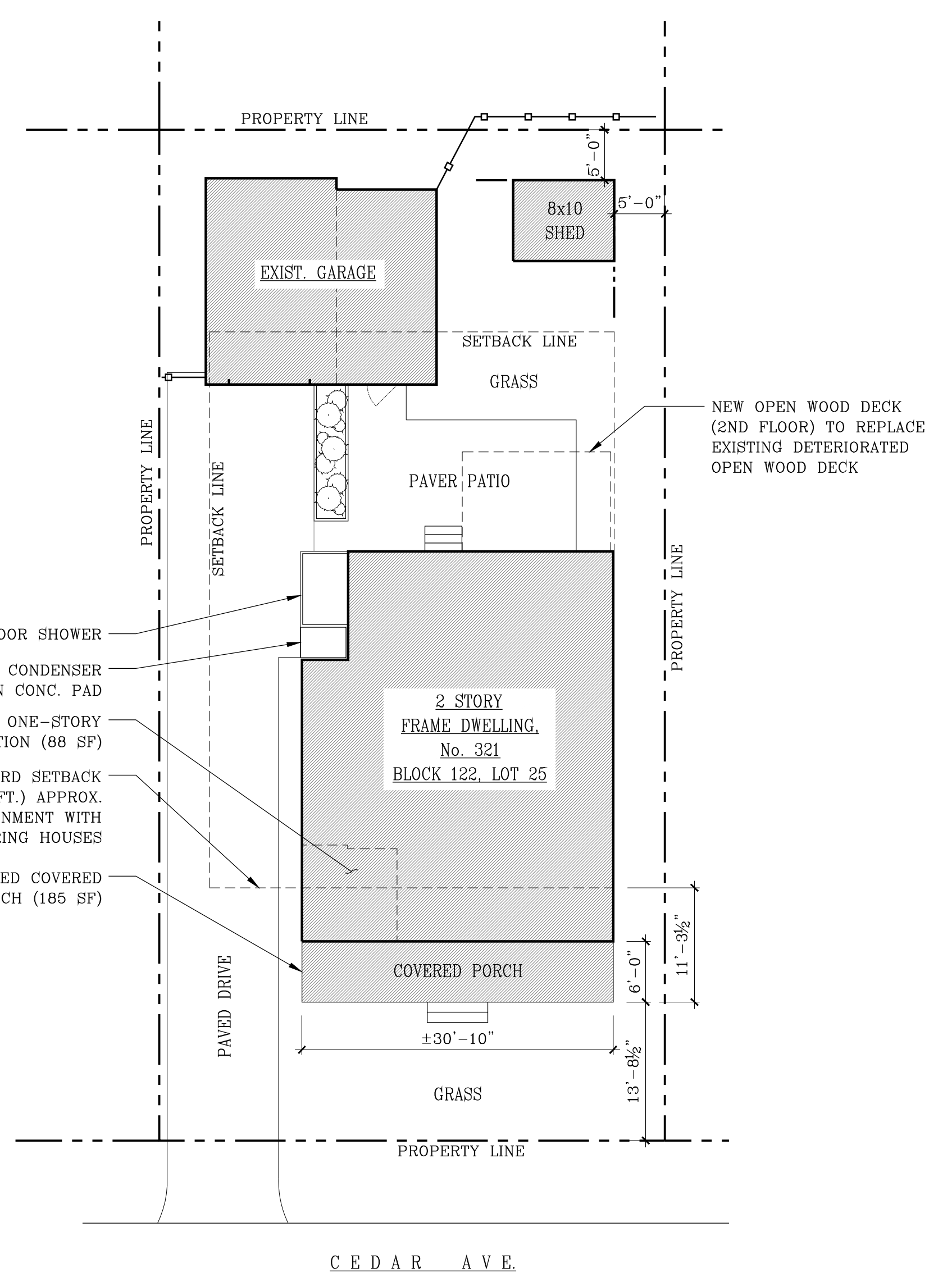
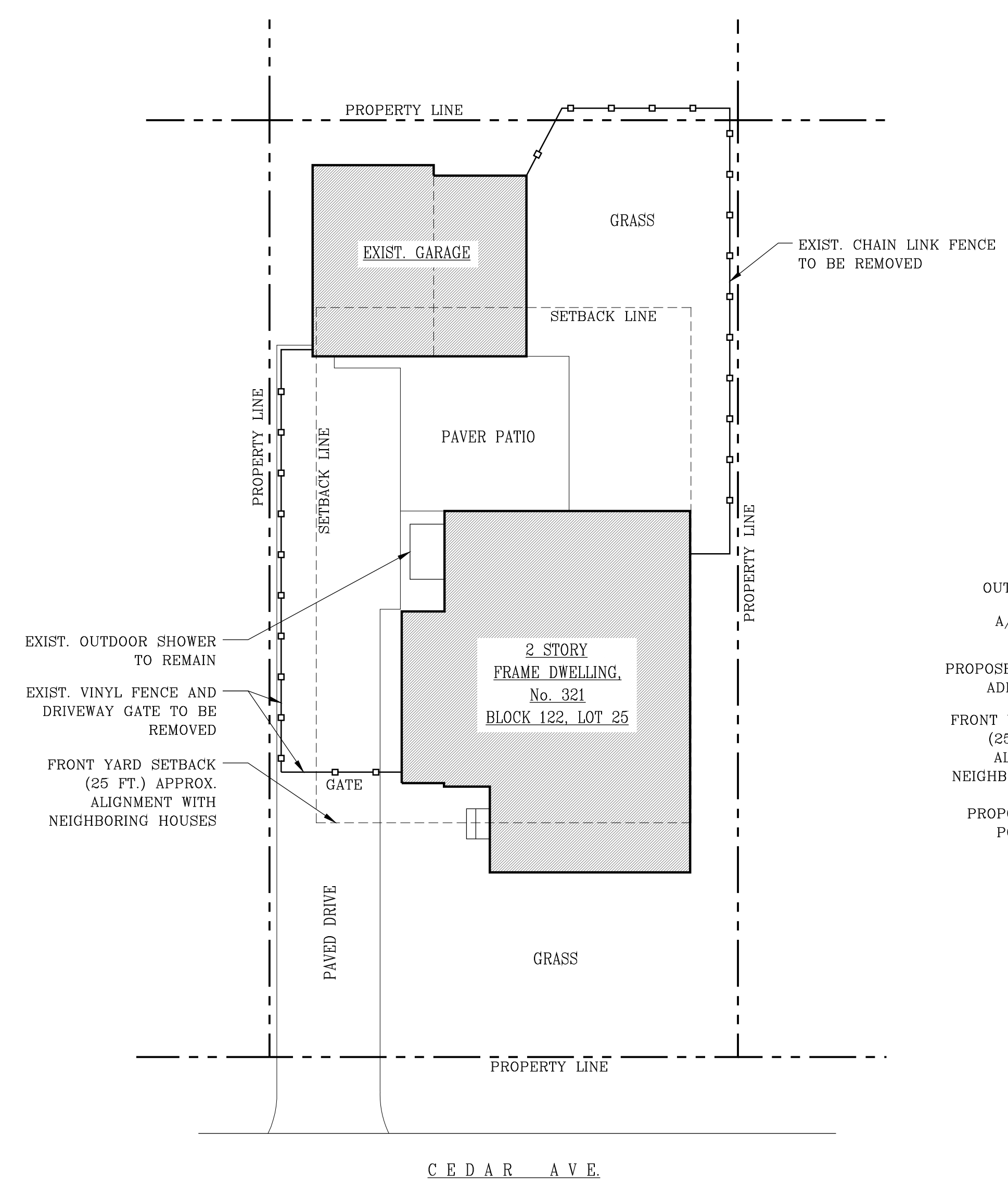
BOROUGH OF MANASQUAN, NJ  
ISSUED FOR PLANNING BOARD APPLICATION - FEBRUARY 13th, 2024

**PROJECT DESCRIPTION:**

PROPOSED RENOVATION AND EXPANSION OF EXISTING SINGLE-FAMILY DWELLING AT:  
321 CEDAR AVE., MANASQUAN, NJ 08736, MONMOUTH COUNTY  
LOT: 25, BLOCK: 122 - ZONE R-2 - AREA OF SITE: 5,000 SF/0.11 AC.

**SHEET INDEX:**

- ARCHITECTURAL DRAWINGS:**  
A-1 TITLE SHEET, SITE PLAN & BULK TABLE  
A-2 EXISTING & PROPOSED PLANS  
A-3 PROPOSED ELEVATIONS



**BULK TABLE:**

ZONE: R-2 (ONE-FAMILY RESIDENTIAL)  
LOT REQUIREMENTS:

REGULATION	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
MIN. LOT AREA (SQ FT)	7,000	5,000	NO CHANGE	EXNC*
MIN. LOT FRONTAGE (FT)	50.0'	50.0'	NO CHANGE	NO
MIN. FRONT YARD (FT)	25.0'	19.7'	13.9'	EXNC*
MIN. SIDE YARD (FT)	5.0'	5.1'	NO CHANGE	NO
MIN. REAR YARD (FT)	20.0'	41.7'	NO CHANGE	NO
MAX. HEIGHT (FT/STORIES)	35'/2.5 ST.	28.2'/2 ST.	NO CHANGE	NO
MAX. BUILDING COVERAGE (%)	30%	30.1%	37.2%	EXNC*
MAX. LOT COVERAGE (%)	45%	54.4%	61.8%	NO

**ACCESSORY STRUCTURE: 8x10 STORAGE SHED**

MIN. SIDE AND REAR SETBACKS (FT)	5.0'	5.0'	NO
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\*EXNC = EXISTING NONCONFORMING - VARIANCE REQUESTED

NOTE: SITE PLAN BASED ON LAND SURVEY PROVIDED BY OWNER



**EXISTING FRONT ELEV.**



**EXISTING GARAGE**

JONATHAN WOLFE, AIA  
NJ LIC. 21A020365

ADDITION & RENOVATION:  
**321 CEDAR AVE.**  
MANASQUAN, NJ

SHEET TITLE  
**SITE PLANS & BULK TABLE**

DATE ISSUED  
13 FEBRUARY 2024

SCALE  
3/32"=1'-0"

DRAWN BY  
JPW

DATE CREATED  
10/02/2023

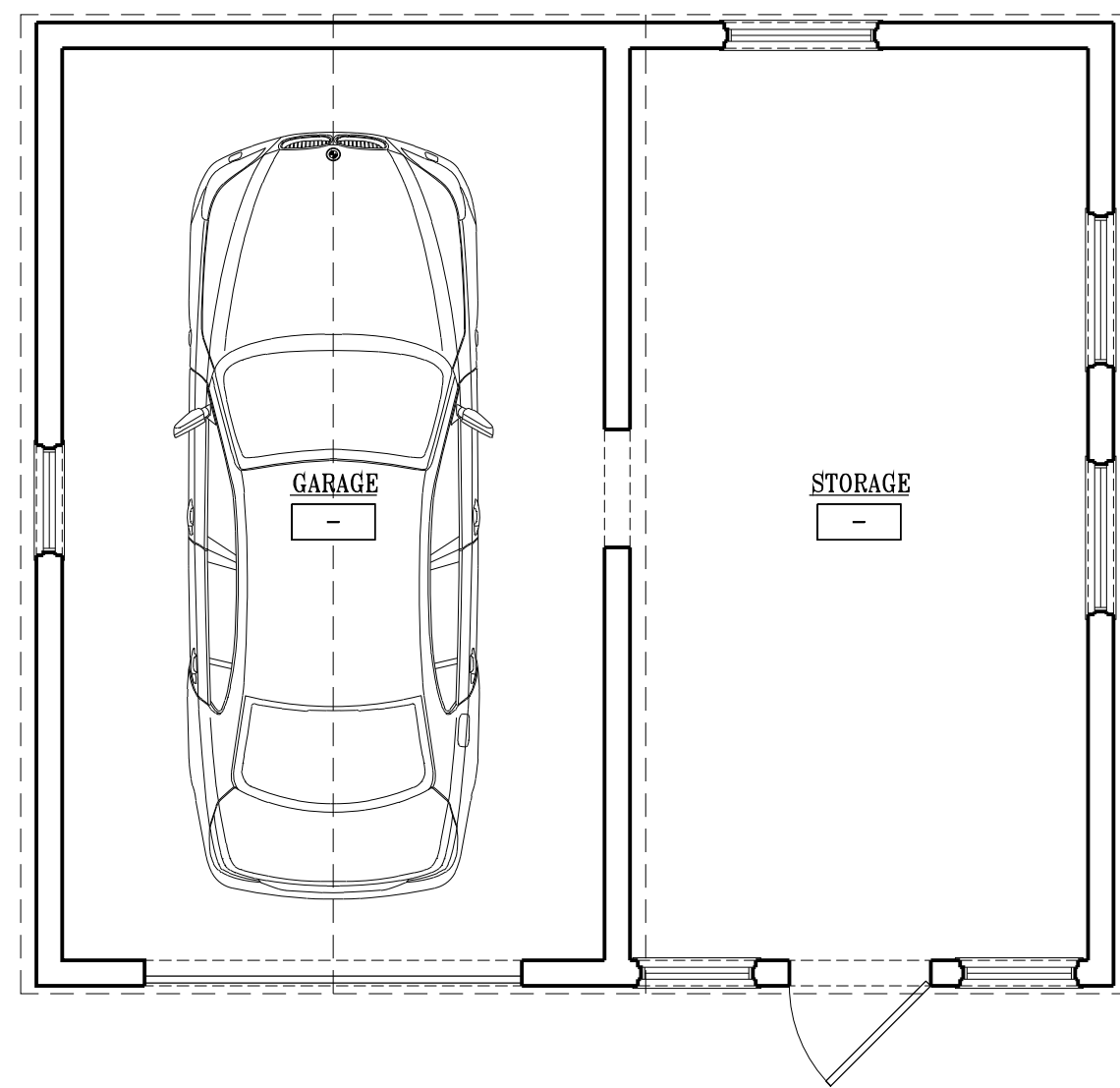
SHEET NO.  
**A-1**



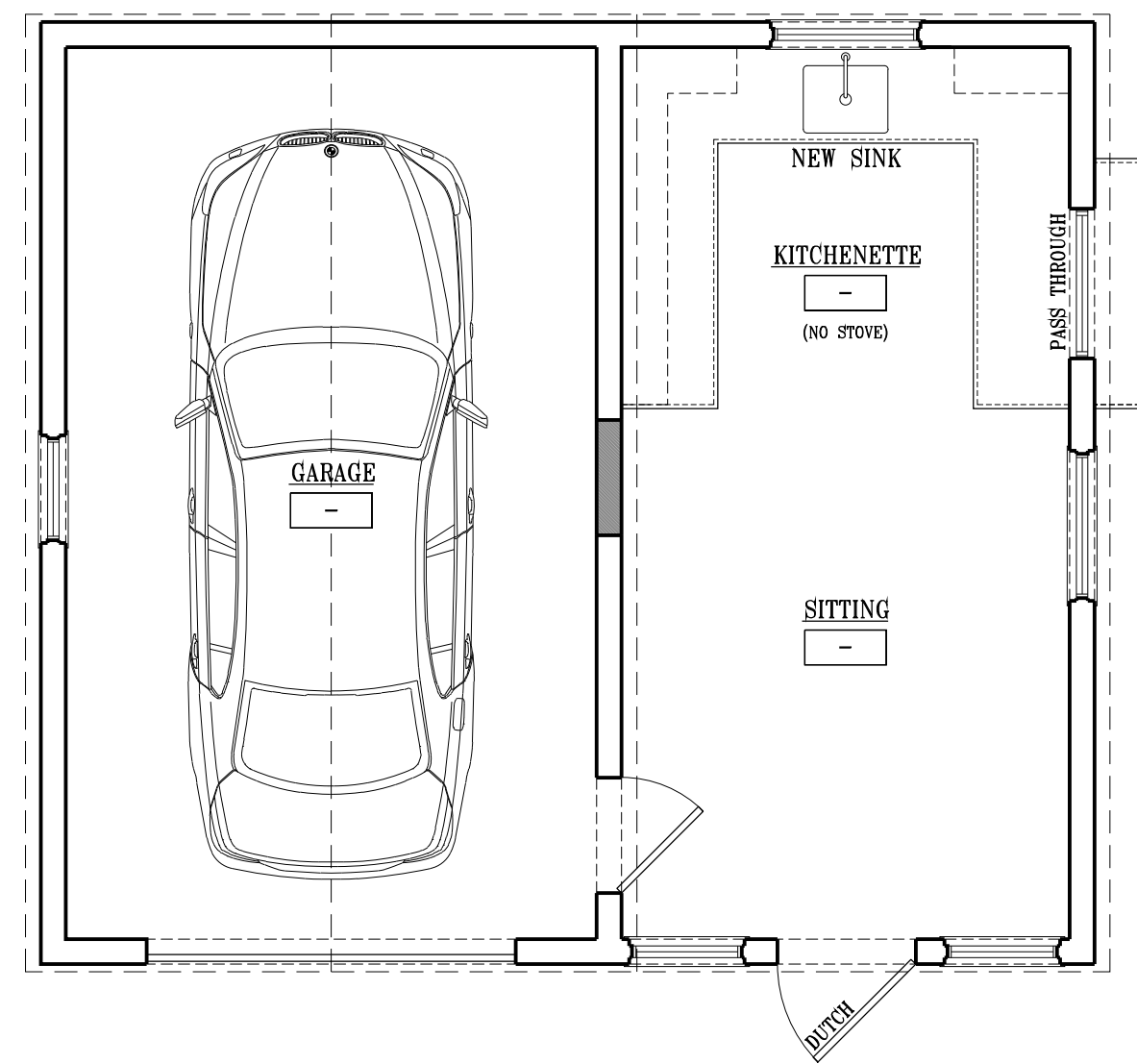
JONATHAN WOLFE ARCHITECTURE + DESIGN  
518 Laurel Avenue, W. Allenhurst NJ 07711  
E: jon@jonathanwolfearchitect.com  
T: 732-415-7222

Drawings, specifications and other documents prepared by JONATHAN WOLFE ARCHITECTURE + DESIGN are the instruments of the designer's service and shall remain the property of the designer, whether or not the project for which they are intended is constructed or not. The designer's drawings, specifications and other documents will not be used on any other projects for additions to this project and/or for completion of this project by others, except by agreement in writing and with appropriate compensation to the designer.

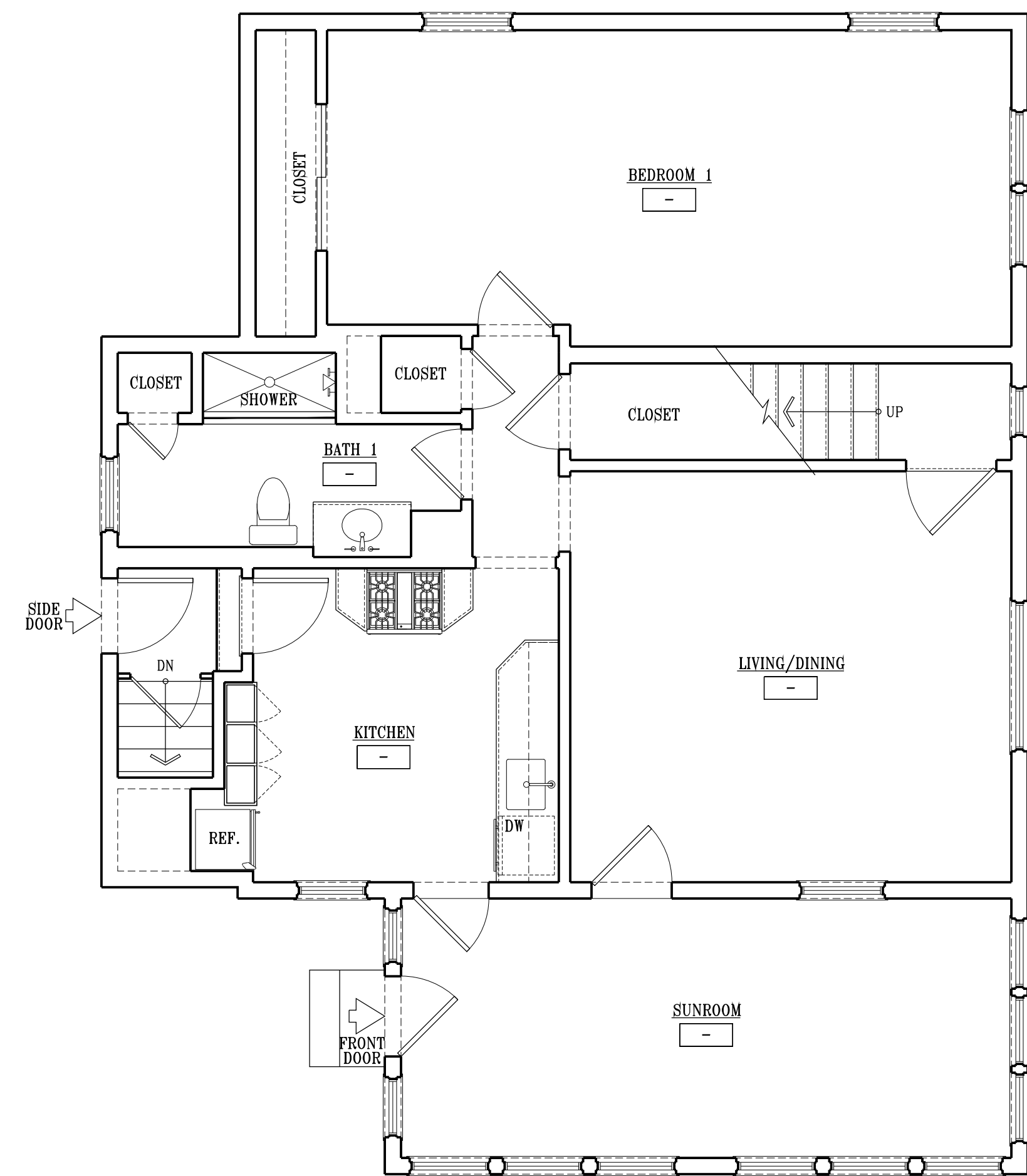




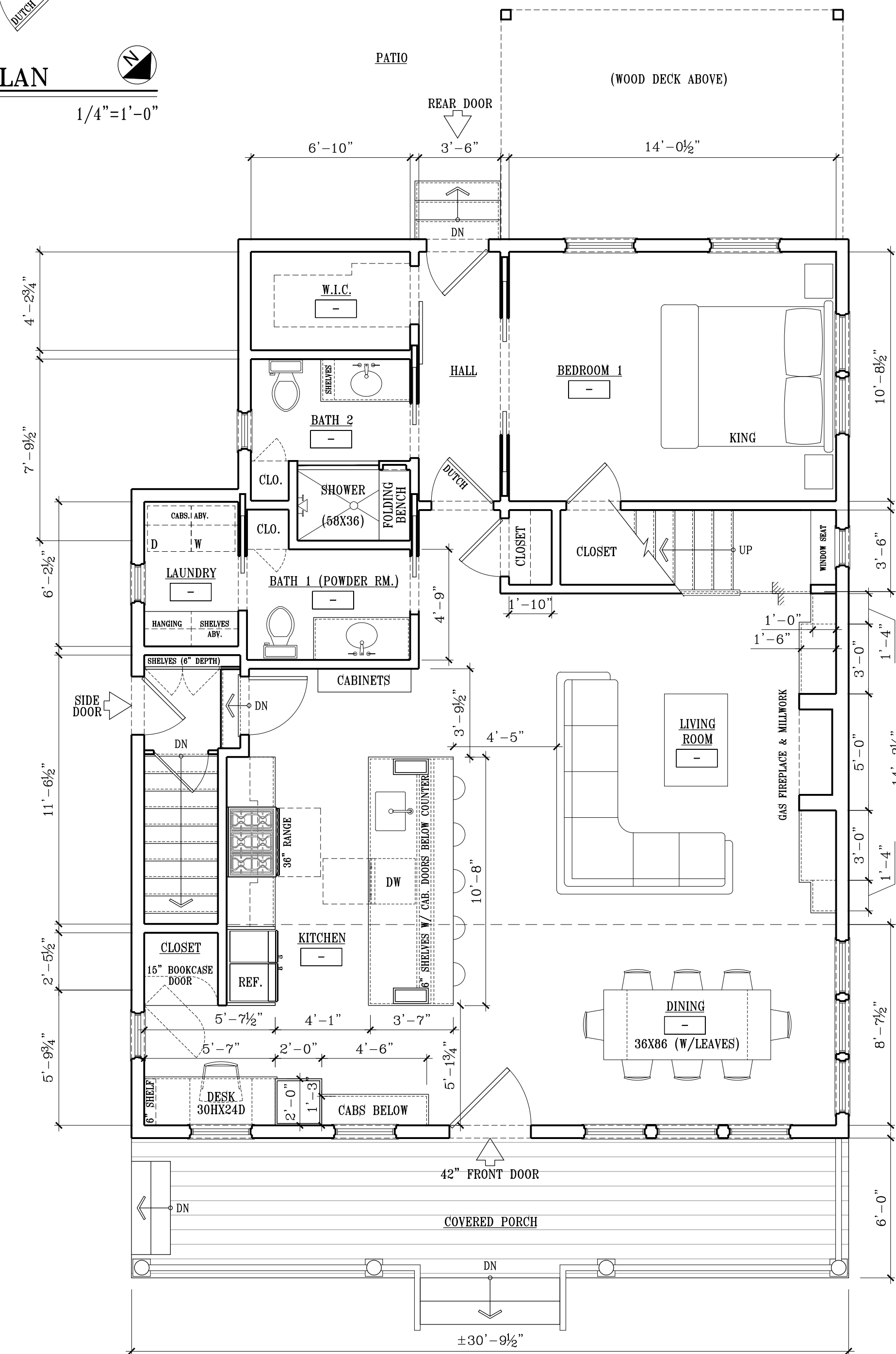
2 EXISTING GARAGE PLAN  
1/4"=1'-0"



4 PROPOSED GARAGE PLAN  
1/4"=1'-0"



1 EXISTING 1st FLOOR PLAN  
1/4"=1'-0"



3 PROPOSED 1st FLOOR PLAN  
1/4"=1'-0"

JONATHAN WOLFE, AIA  
NJ LIC. 21A020365

ADDITION & RENOVATION:  
**321 CEDAR AVE.**  
MANASQUAN, NJ

SHEET TITLE  
**EXISTING & PROPOSED PLANS**

DATE ISSUED  
13 FEBRUARY 2024

SCALE  
1/4"=1'-0"

DRAWN BY  
JPW

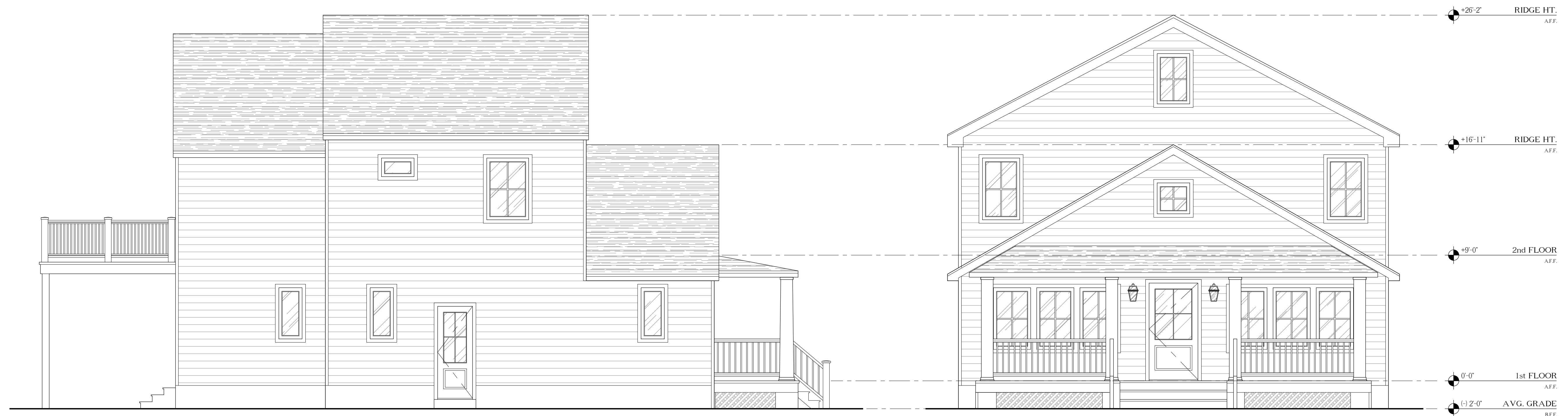
DATE CREATED  
10/02/2023

SHEET NO.  
**A-2**

**W**

JONATHAN WOLFE ARCHITECTURE + DESIGN  
518 Laurel Avenue, W. Allenhurst NJ 07711  
E: jon@jonathanwolfearchitect.com  
T: 732-415-7222

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2 SIDE ELEVATION (EAST) ~ PROPOSED  
1/4"=1'-0"

1 FRONT ELEVATION (NORTH) ~ PROPOSED  
1/4"=1'-0"



3 REAR ELEVATION (SOUTH) ~ PROPOSED  
1/4"=1'-0"

JONATHAN WOLFE, AIA  
NJ LIC. 21A1020365

ADDITION & RENOVATION:  
321 CEDAR AVE.  
MANASQUAN, NJ

SHEET TITLE  
PROPOSED  
ELEVATIONS

DATE ISSUED  
13 FEBRUARY 2024

SCALE  
1/4"=1'-0"

SHEET NO.  
A-3

DRAWN BY  
JPW

DATE CREATED  
10/02/2023



JONATHAN WOLFE ARCHITECTURE + DESIGN  
518 Laurel Avenue, W. Allenhurst NJ 07711  
E: jon@jonathanwolfearchitect.com  
T: 732-415-7222

Drawings, specifications and other documents prepared by JONATHAN WOLFE ARCHITECTURE + DESIGN are the instruments of the designer's service and shall remain the property of the designer, whether or not the project for which they are intended is constructed or not. The designer's drawings, specifications and other documents will not be used on any other projects for additions to this project and/or for completion of this project by others, except by agreement in writing and with appropriate compensation to the designer.

March 14, 2024

Barbara Ilaria, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

B.O.M. RECEIVED  
M&G \_\_\_\_\_ F&M \_\_\_\_\_  
CLERK \_\_\_\_\_ CFD \_\_\_\_\_

MAR 15 2024

DPW \_\_\_\_\_ CONST \_\_\_\_\_  
PD \_\_\_\_\_ OTHER \_\_\_\_\_

Re: Boro File No. MSPB-R2210  
Variance – Mark D. Hall Family Trust  
Block 177, Lot 33.03  
155 First Avenue  
R-5 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Existing Conditions Plan prepared by Thomas Ertle, PLS, of French & Parrello Associates, dated February 1, 2024.
2. Architectural plans, prepared by Stephen Carlidge, AIA, of Shore Point Architecture, PA, dated February 6, 2024.

The property is located in the R-5 Single-Family Residential Zone with frontage on First Avenue. With this application, the applicant proposes to construct a roof deck/widow's walk with access from a spiral staircase from the rear deck on the existing dwelling on the existing residential lot. The application is deemed complete as of March 14, 2024.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-5 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
  - a. A maximum building height of 35 feet is permitted whereas a building height of 35.92 feet is proposed.
  - b. Section 35-11.8a Prohibits the construction of a deck above the highest floor of any building or structure, whereas a roof deck is proposed.

Section 35-11.8b permits a widows walk with a maximum of 50 square feet with the sole access being provided from within the interior of the building,

Re: Boro File No. MSPB-R2210  
Variance – Mark D. Hall Family Trust  
Block 177, Lot 33.03

March 14, 2024  
Sheet 2

however the proposed deck has an area of approximately 506 square feet and access is proposed by an outdoor spiral staircase from the existing second story rear balcony. As such, the proposed deck does not meet this allowance provided by Section 35-11.8b

3. The following non-conformities exist on Lot 33.03 and are not proposed to be modified as part of this application:
  - a. A maximum driveway and curb cut of 20 feet is permitted, whereas a driveway and curb cut of approximately 33 feet exists.
  - b. A maximum building coverage of 35% is permitted, whereas a building coverage of 38.4% exists.
4. The base flood elevation for the property is 9 (Zone AE). The existing finish first floor is at elevation 10.13.
5. The proposed railing around the deck will increase the total building height by 1 foot to 35.92 feet. This railing would be required to provide a 3 feet high railing around the roof deck in accordance with applicable building codes.
6. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed deck will not increase the impervious coverage by more than 500 square feet.
7. It appears that no existing trees will be removed as part of the application.
8. Any curb and sidewalk must be replaced along First Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
MANASQUAN PLANNING BOARD  
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
John Giunco, esq.  
Giordano, Halleran & Ciesla, PC, 125 Half Mile Road, Suite 300, Red Bank, NJ 07701  
Stephen Claridge, AIA  
Shore Point Architecture, 108 South Main Street, Ocean Grove, NJ 07756

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA  
Supervisor of Code Enforcement


THOMAS F. FLARITY  
Municipal Administrator

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

APPLICATION TO THE PLANNING BOARD

- \*Applicant's Name: Mark D. Hall Family Trust
- \*Applicant's Address: 155 First Avenue
- \*Telephone Number: Home: 732 433 7665 Cell: 732-433-7665
- \*e-mail Address: jgiunco@ghclaw.com
- \*Property Location: 155 First Avenue
- \*Block: 177 Lot: 33.03
- \*Type of Application: Amended Site Plan w/Variance Relief  
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval
- \*Date of Zoning Officer's Denial Letter: January 17, 2024  
Attach Zoning Permit Application
- \*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.
- \*Is the Applicant the Landowner? Yes
- \*Does the Applicant own any adjoining land? No
- \*Are the property taxes paid to date? Yes
- \*Have there been any previous applications to the Planning Board concerning this property? Yes.  
(Attach copy) See copy of Resolution dated June 25, 2019, attached.
- \*\*Are there any Deed Restrictions, Easements, or Covenants affecting this property? No  
(Attach copy)
- \*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

  
Signature of Applicant or Agent

1/23/2024  
Date

10/2023

MICHAEL W. MANGAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

AMY SPERA  
Chief Financial Officer

CONSTRUCTION DEPARTMENT

Incorporated December 30, 1887

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
201 EAST MAIN STREET  
NEW JERSEY 08736  
732-223-0544 • Fax 732-223-1300

FRANK F. DIROMA  
Supervisor of  
Construction / Code

STEVEN J. WINTERS, CFM  
Construction Official

RICHARD FUREY  
Zoning Officer

January 17, 2024

John Giunco, Esq.  
Giordano, Halleran & Ciesla, PC  
125 Half Mile Road, Suite 300  
Red Bank, NJ 07701

Re: Block: 171 Lot: 33.03 Zone: R-5 Flood Zone: AE BFE: 9ft. DFE: 10ft.  
Hall – 155 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Construct a deck on the roof of the existing single family dwelling.

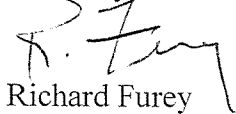
Survey prepared by Thomas Ertle on March 6, 2020. Site plan and conceptual plans prepared by Stephen Carlidge on January 2, 2024.

**Application denied for the following reason(s):**

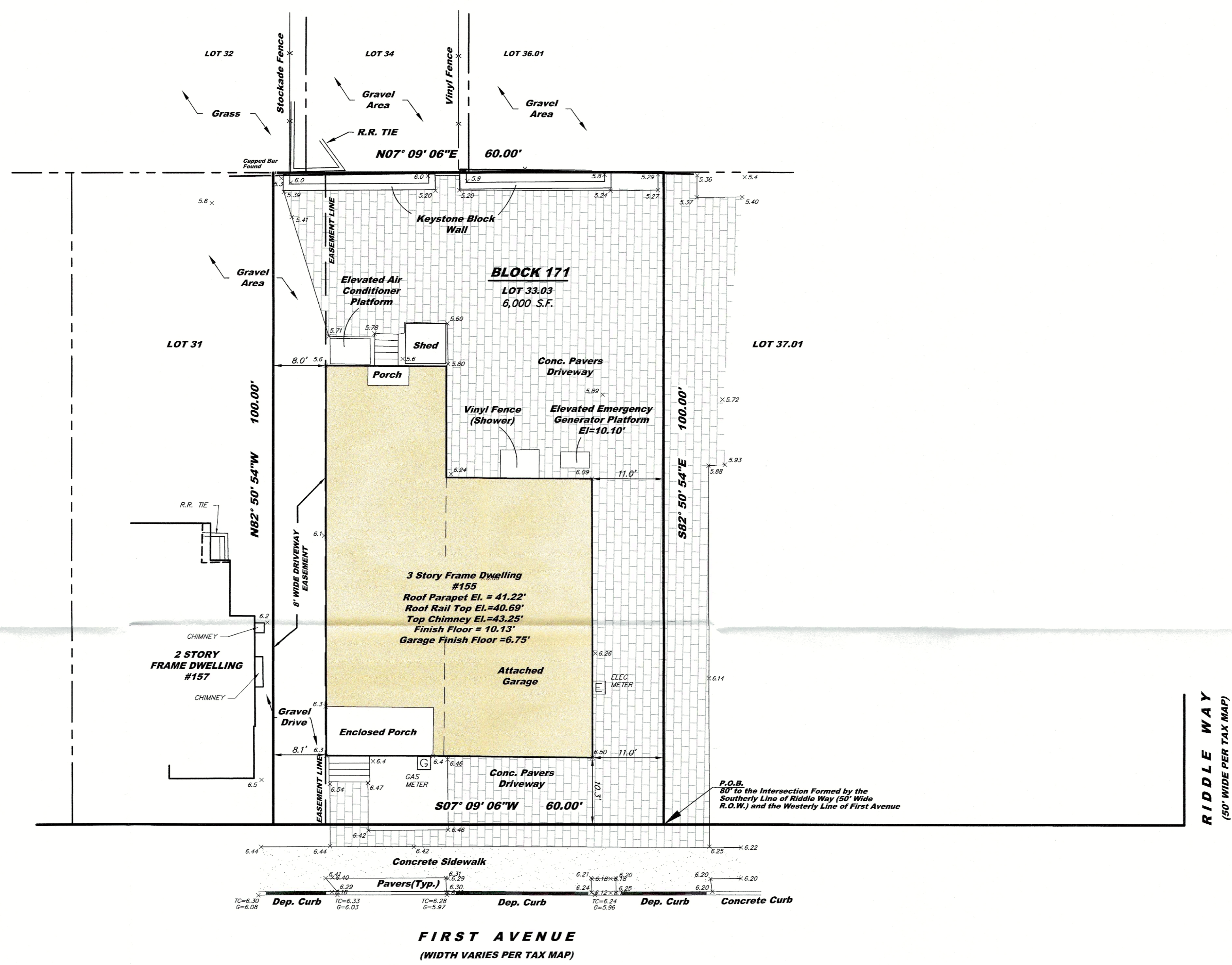
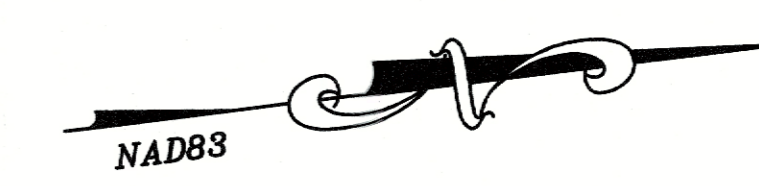
Section 35-11.8a – Prohibits constructing a deck above the highest finished floor of any building or structure.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer



**NOTES:**

1. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO RECORDED AND UNRECORDED EASEMENTS AND ANY OTHER PERTINENT FACTS WHICH A COMPLETE AND ACCURATE TITLE SEARCH MIGHT DISCLOSE.
2. INFORMATION SHOWN HEREON WAS OBTAINED IN THE FIELD BY FRENCH & PARRELLO ASSOCIATES ON FEBRUARY 20, 2020.
3. THE HORIZONTAL AND VERTICAL DATUM REFERENCED ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS AND ARE RELATIVE TO NAD 83/NAVD 88 ADJUSTMENT.
4. THE NORTH ARROW AND METES AND BOUNDS INDICATED ON THIS PLAN ARE BASED ON GPS OBSERVATIONS AND ARE RELATIVE TO THE NEW JERSEY PLANE COORDINATE SYSTEM (NAD83); THESE MAY DIFFER FROM THE METES AND BOUNDS OF THE INDIVIDUAL PROPERTY DEED DESCRIPTIONS.
5. ANY UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND OBSERVATIONS, UTILITY MARKING FOUND IN THE FIELD AND/OR INFORMATION SUPPLIED BY THE UTILITY COMPANIES. SINCE NO PHYSICAL LOCATION OF THE UNDERGROUND FACILITIES HAVE BEEN MADE BY THE UNDERSIGNED, NO GUARANTEE IS BEING MADE FOR THEIR COMPLETENESS OR ACCURACY.
6. THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AND/OR HAZARDOUS MATERIALS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS AND/OR HAZARDOUS MATERIALS IS PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THESE MATTERS SEPARATE AND APART FROM THIS SURVEY.
7. IF THIS DOCUMENT DOES NOT CONTAIN THE RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT A VALID COPY OF THE SURVEY AND NO LIABILITY IS ASSUMED FOR THE INFORMATION SHOWN HEREON.
8. THIS SURVEY AND THE INFORMATION SHOWN HEREON IS PRIVILEGED AND HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF NANCY E. HALL AND JAMES KELLY FOR BUILDING DEPARTMENT APPROVAL PURPOSES ONLY. THIS SURVEY AND THE INFORMATION CONTAINED HEREON CANNOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED PROFESSIONAL.

**MAP REFERENCES:**

1. "SURVEY OF LOT 33.02, BLOCK 171 BOROUGH OF MANASQUAN, MONMOUTH COUNTY NJ" BY FRENCH AND PARRELLO DATED 6-27-2008.
2. "SURVEY OF PROPERTY, LOT 33.02, BLOCK 171, MANASQUAN BOROUGH TAX MAP, BOROUGH OF MANASQUAN, MONMOUTH COUNTY NEW JERSEY" PREPARED BY MORRIS SURVEYORS, INC. DATED 9/20/07.
3. THE OFFICIAL TAX MAP FOR THE BORO OF MANASQUAN, SHEET NO. 27, LAST REVISED NOVEMBER 2015.

**DEED REFERENCES:**

D.B. 9140 PG. 1335 CONSOLIDATION OF LOTS 33.02 AND 35 CREATING NEW LOT 33.03 BLOCK 171

THE USE OF THIS SURVEY IN ITS PRESENT FORMAT IS SUBJECT TO THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ADMINISTRATIVE RULES AND REGULATIONS TITLE 13 CHAPTER 40 SUBCHAPTER 8 SECTION 13-40-8.2(b) "NO PERSON SHALL REMOVE A TITLE BLOCK FROM ANY PRINT OR REPRODUCTION" AND SECTION 13-40-8.3(a)5 "THE HANDWRITTEN SIGNATURE OF THE PERSON(S) IN RESPONSIBLE CHARGE AND DATE WHEN SIGNED".

**FPA FRENCH & PARRELLO ASSOCIATES**

Corporate Office  
1800 Route 34, Suite 101  
Wall, NJ 07719  
732.312.9800

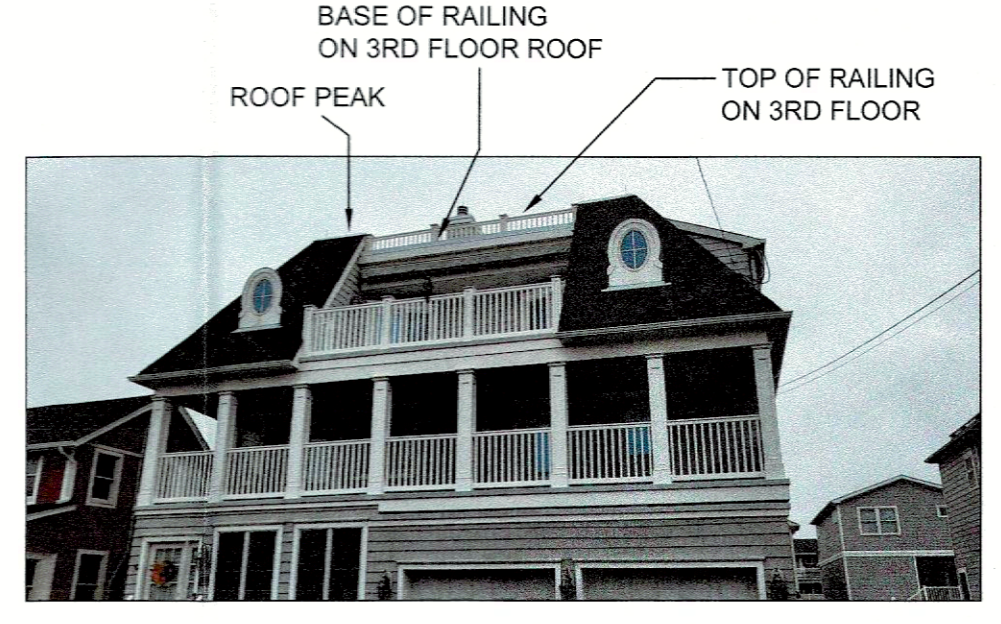
Regional Offices  
Camden, NJ  
Hackettstown, NJ  
New York, NY

THOMAS J. ERTL, PLS  
PROFESSIONAL LAND SURVEYOR, NJ LIC. No. 24GS93583400

<b>EXISTING CONDITIONS PLAN</b>			
PREPARED FOR			
<b>LOT 33.03, BLOCK 171</b>			
SITUATED IN THE			
<b>BOROUGH OF MANASQUAN</b>			
<b>MONMOUTH COUNTY, NEW JERSEY</b>			
DATE:	DESIGNED BY:	SCALE:	PROJECT NUMBER:
3-6-2020	R.J.C.	1" = 10'	07C154A
DRAWN BY:	CHECKED BY:	FIELD BOOK:	SHEET:
R.J.C.	T.J.E.		1 of 1

No.	Date	Revision	Revised By	Checked By
3.	02-01-2024	Added Misc Heights	R.J.C.	T.J.E.
2.	12-21-2023	Correction to Identify Emergency Generator	J.C.L.	T.J.E.
1.	11-10-2023	Update Survey	M.C.	T.J.E.

SCALE: 1" = 10'  
SCALE IN U.S. SURVEY FEET



**HEIGHT CALCULATIONS**

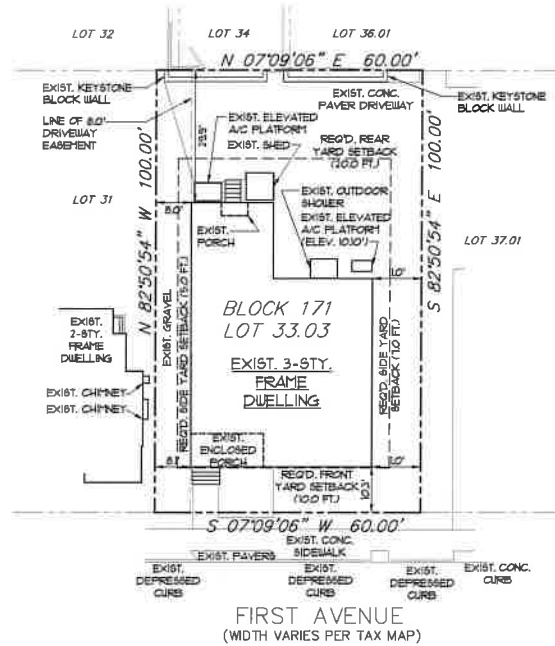
	ELEVATION	AVERAGE TOP OF CURB ELEVATION	HEIGHT ABOVE AVERAGE TOP OF CURB
TOP OF ROOF PEAK ( FRONT OF BUILDING)	41.21'	6.28'	34.93'
TOP OF ROOF PEAK ( REAR OF BUILDING)	41.16'	6.28'	34.88'
TOP OF RAILING ATTACHED TO 3RD STORY ROOF (FRONT OF BUILDING)	40.69'	6.28'	34.41'
TOP OF RAILING ATTACHED TO 3RD STORY ROOF (REAR OF BUILDING)	40.59'	6.28'	34.31'

HEIGHT OF RAILING FROM ITS BASE ON 3RD FLOOR ROOF TO TOP OF RAILING  
FRONT OF HOUSE = 1.66'  
REAR OF HOUSE = 2.53'

**LEGEND**

- X 123.45 SPOT ELEVATION
- X G 123.45 GUTTER ELEVATION
- X TC 123.45 TOP OF CURB ELEVATION
- X BW 123.45 BOTTOM OF WALL ELEVATION
- X TW 123.45 TOP OF WALL ELEVATION
- X FF 123.45 FINISHED FLOOR ELEVATION
- FENCE LINE
- SIGN
- WATER VALVE
- LIGHT POLE
- UTILITY POLE
- SANITARY SEWER MANHOLE
- STORM DRAINAGE MANHOLE
- DRAINAGE INLET
- APPROXIMATE LOCATION OF UNDERGROUND STORM DRAINAGE PIPE
- APPROXIMATE LOCATION OF UNDERGROUND SANITARY SEWER PIPE
- APPROXIMATE LOCATION OF UNDERGROUND WATER LINE
- APPROXIMATE LOCATION OF UNDERGROUND ELECTRICAL LINE
- OVERHEAD WIRES

L:\SUS\SEC\0707154A\004 - MANASQUAN\200 - CAD\0707154A\_FINAL\_AB - R3.DWG (FINAL)



FIRST AVENUE  
(WIDTH VARIES PER TAX MAP)

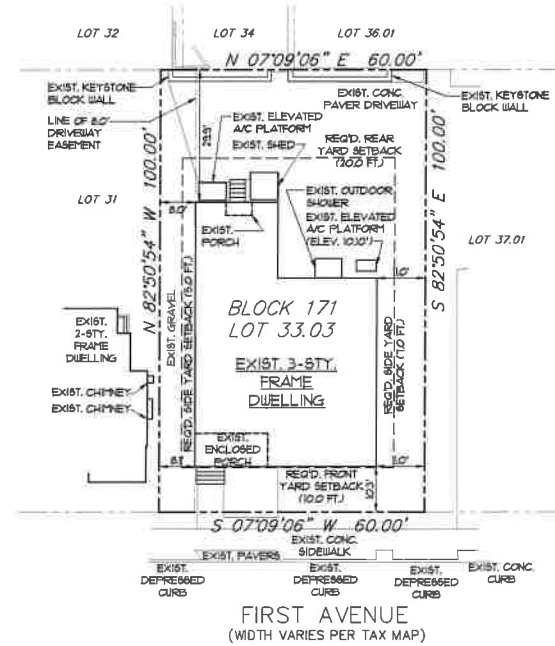
**SITE PLAN**  
1"=20'

SITE INFORMATION TAKEN FROM "EXISTING CONDITIONS PLAN" DATED 11/10/23, PREPARED BY THOMAS J. ERTLE (NJPLS NO. 246503583400) OF FRENCH & FARRELLO ASSOCIATES

NOTE: NO PROPOSED CHANGES TO THE SITE PLAN AS PART OF THIS PROJECT

**COVERAGE CALCS**  
1"=30'

LOT AREA:	6,000	SQ. FT.
BUILDING COVERAGE:		
PRINCIPAL BUILDING	2,302	SQ. FT.
TOTAL	2,302	SQ. FT. (38.4%)
LOT COVERAGE:		
PRINCIPAL BUILDING	2,302	SQ. FT.
STAIRS	43	SQ. FT.
SHED	38	SQ. FT.
OUTDOOR SHOWER	26	SQ. FT.
A/C UNIT PLATFORMS	36	SQ. FT.
DRIVEWAY & WALKWAYS	2,852	SQ. FT.
BLOCK WALL	53	SQ. FT.
TOTAL	5,560	SQ. FT. (92.8%)



FIRST AVENUE  
(WIDTH VARIES PER TAX MAP)

**EXIST. SITE PLAN**  
1"=20'

SITE INFORMATION TAKEN FROM "EXISTING CONDITIONS PLAN" DATED 11/10/23, PREPARED BY THOMAS J. ERTLE (NJPLS NO. 246503583400) OF FRENCH & FARRELLO ASSOCIATES

PROPOSED ROOF TERRACE:  
**HALL RESIDENCE**  
155 First Avenue  
Manasquan, NJ 08736  
Block: 171 Lot: 33.03

**PROJECT INFORMATION**

**BUILDING CODES:**  
REHABILITATION SUBCODE (NJAC 5:23-6)  
INTERNATIONAL RESIDENTIAL CODE - 2021 (NJ EDITION), WHERE APPLICABLE

**BUILDING STATISTICS:**  
USE GROUP: R-5  
CONSTRUCTION CLASS: 5B  
NUMBER OF STORIES: 3  
WIND SPEED (MILE) 125 MPH (NOTE: THIS PROJECT IS NOT LOCATED IN A WINDBORNE DEBRIS REGION AS THE WIND DOES NOT EXCEED 130 MPH)  
FLOOD HAZARD: ZONE AE

**BUILDING AREA: (UNCHANGED)**  
FIRST FLOOR AREA: 1,066 SQ. FT.  
SECOND FLOOR AREA: 1,718 SQ. FT.  
ATTIC FLOOR AREA: 1,085 SQ. FT.  
TOTAL: 3,969 SQ. FT.

**ZONING INFORMATION**

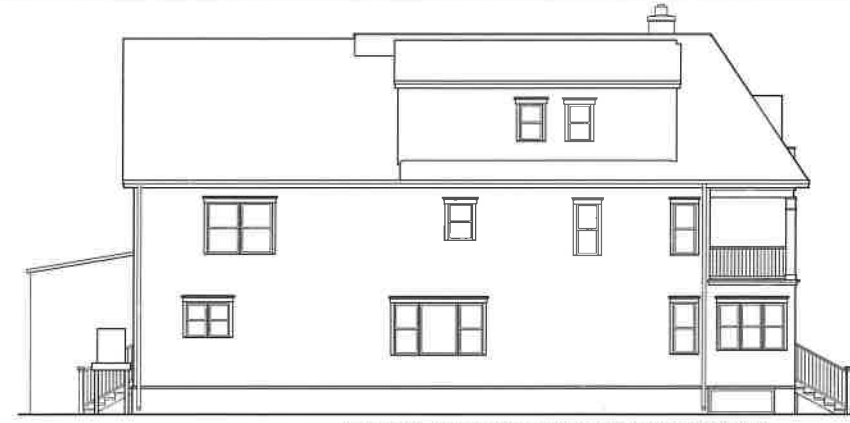
REQUIREMENTS FOR R-5 ZONE (ONE-FAMILY RESIDENTIAL)

	REQ'D/ALLOWED	EXISTING	PROPOSED
MIN. LOT AREA	2,100 SQ. FT.	6,000 SQ. FT.	UNCHANGED
MIN. LOT FRONTAGE	40 FT.	60 FT.	UNCHANGED
MIN. FRONT YARD SETBACK	10 FT.	10.3 FT.	UNCHANGED
MIN. REAR YARD SETBACK	20 FT.	29.3 FT.	UNCHANGED
MIN. AGGREGATE YARD DEPTH OF FRONT AND REAR YARD	30 FT.	40.2 FT.	UNCHANGED
MIN. SIDE YARD SETBACK			
BUILDING (NORTH)	5 FT.	10.6 FT.	UNCHANGED
PROJECTIONS (NORTH)	18 IN.	18 IN.	UNCHANGED
BUILDING (SOUTH)	1 FT.	1.6 FT.	UNCHANGED
PROJECTIONS (SOUTH)	18 IN.	18 IN.	UNCHANGED
MAX. BUILDING HEIGHT	35 FT.	34.92 FT.	35.92 FT.
MAX. NUMBER OF STORIES	2-1/2 STORIES	2-1/2 STORIES	UNCHANGED
MAX. BUILDING COVERAGE	35% (2,100 SQ. FT.)	38.4% (2,302 SQ. FT.)	UNCHANGED
MAX. LOT COVERAGE	50% (3,000 SQ. FT.)	85.8% (5,150 SQ. FT.)	UNCHANGED
EXISTING NON-COMFORMITY	UNCHANGED		
PROPOSED NON-COMFORMITY	VARIANCE REQUIRED		

**DRAWING INDEX**

- A-1 PROJECT INFORMATION, SITE PLAN, EXISTING CONDITIONS
- A-2 ROOF PLAN, ELEVATIONS
- A-3 ELEVATIONS (CONT'D.)

**EXISTING CONDITIONS**



**EXIST. SIDE ELEVATION (SOUTH)**  
1/8"=1'-0"



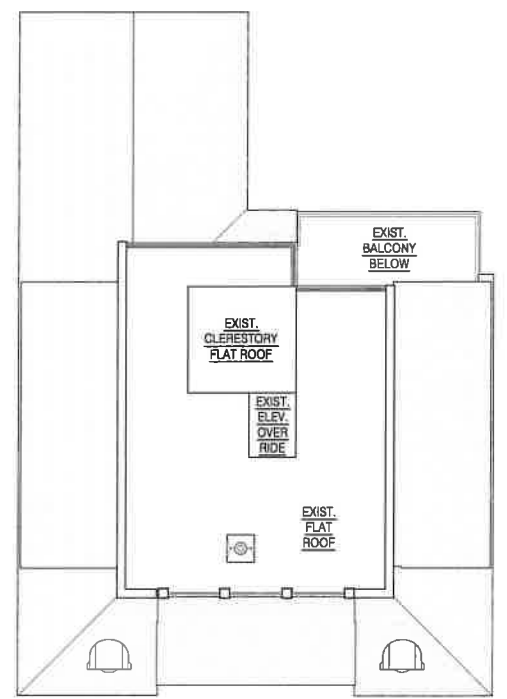
**EXIST. FRONT ELEVATION (EAST)**  
1/8"=1'-0"



**EXIST. SIDE ELEVATION (NORTH)**  
1/8"=1'-0"



**EXIST. REAR ELEVATION (WEST)**  
1/8"=1'-0"



**EXIST. ROOF PLAN**  
1/8"=1'-0"

PROPOSED TERRACE:  
**HALL RESIDENCE**  
155 First Avenue  
Manasquan, NJ 08736

Block: 171  
Lot: 33.03

SCALE: *Stephen J. Ertle*  
Stephen J. Ertle, AIA  
ILLIC # AK08689

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

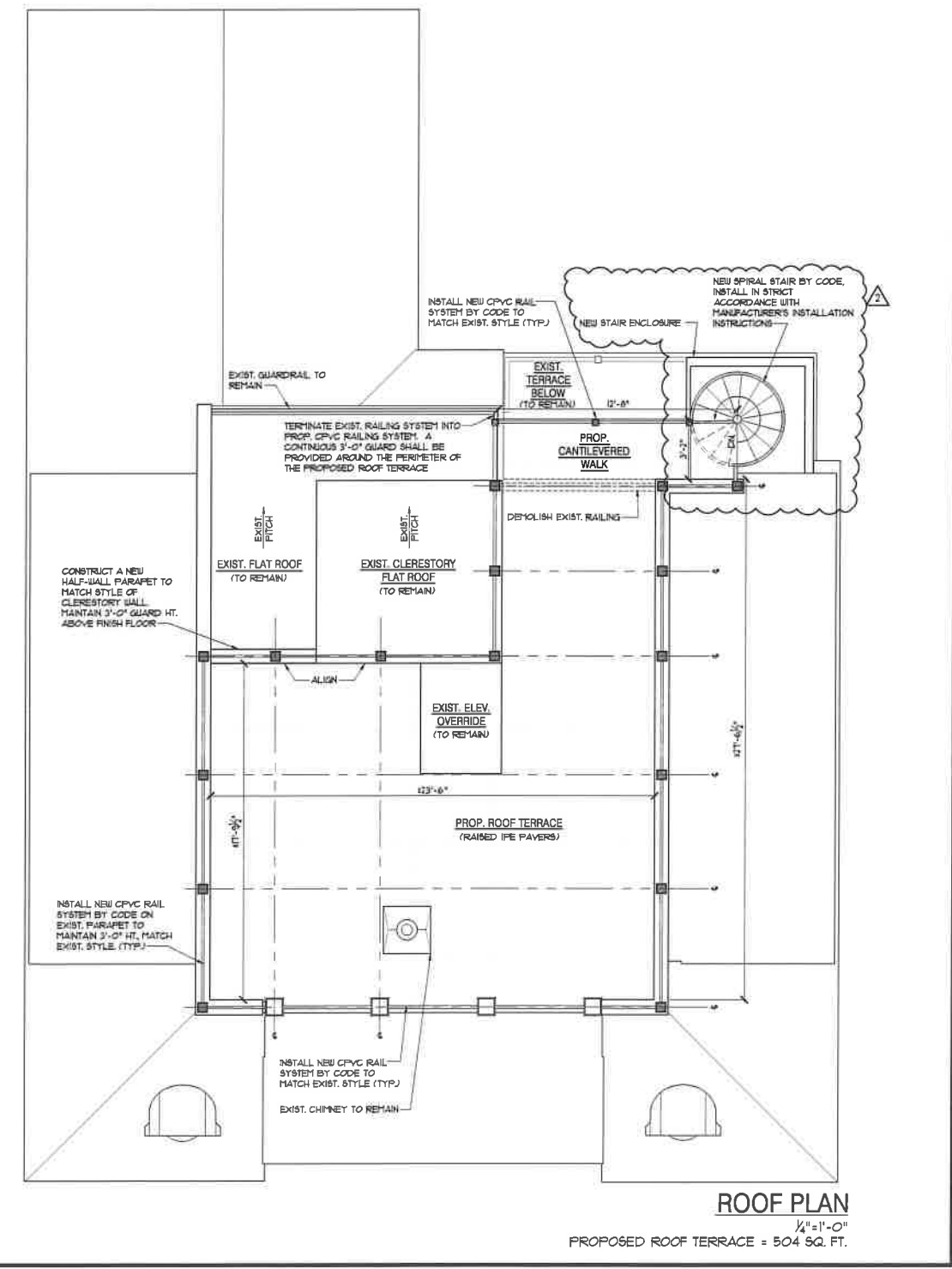
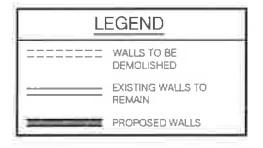
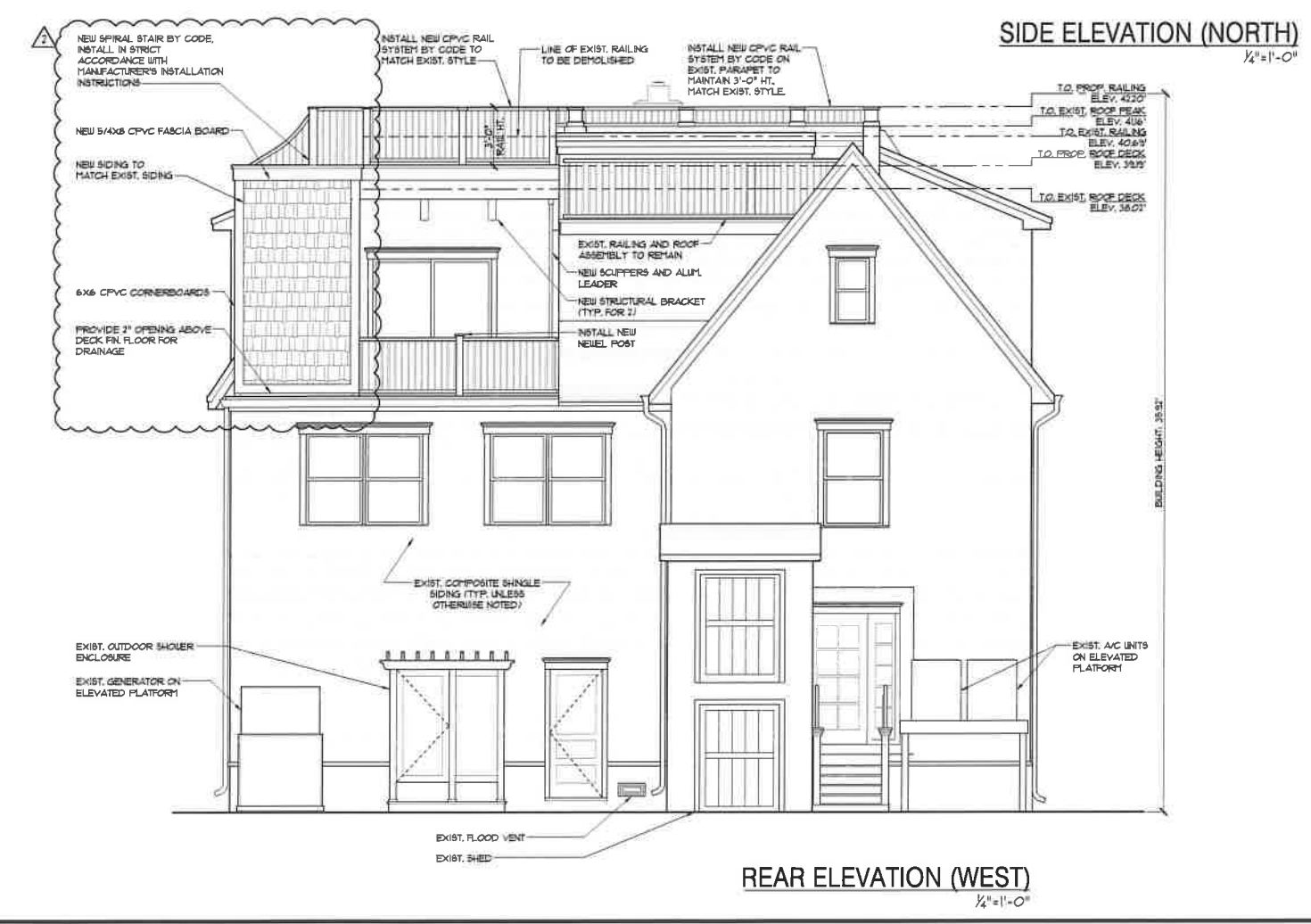
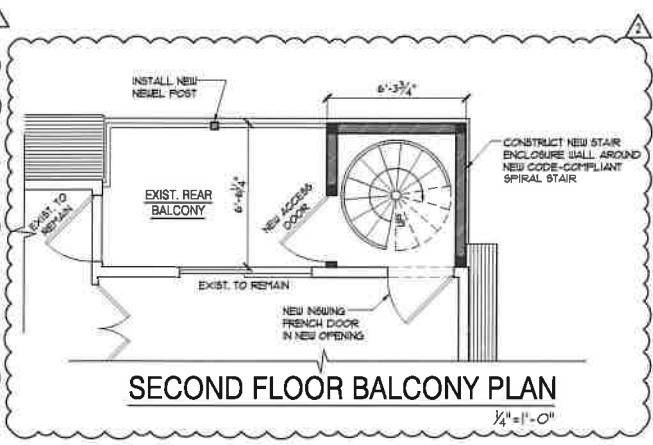
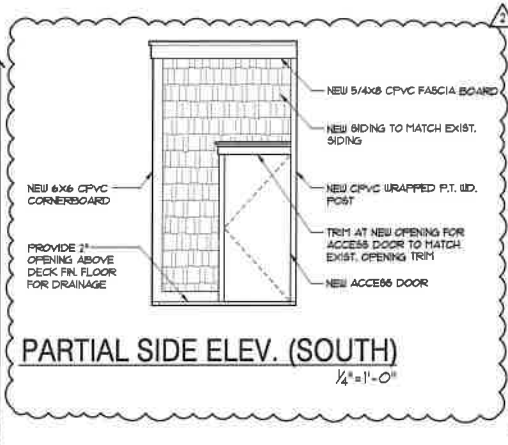
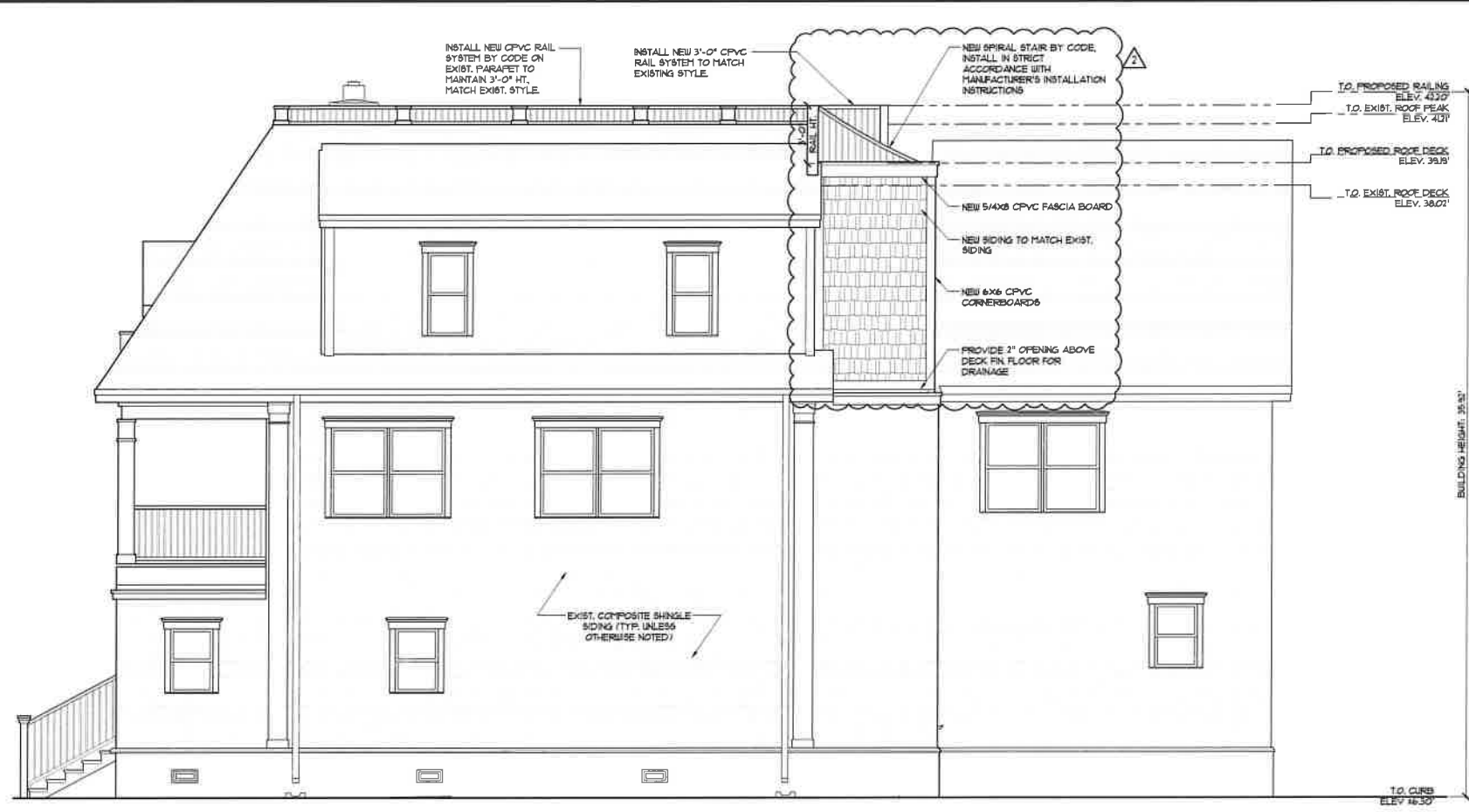
**SITE PLAN, PROJECT INFORMATION, EXISTING CONDITIONS**  
SCALE: AS SHOWN  
DRAWN: MJF

DATE	REVISION/DESCRIPTION
02/06/24	INITIAL RELEASE - ZONING
04/09/24	RY - STAR ENCLOSURE
04/16/24	R2 - STAR ENCLOSURE REVS

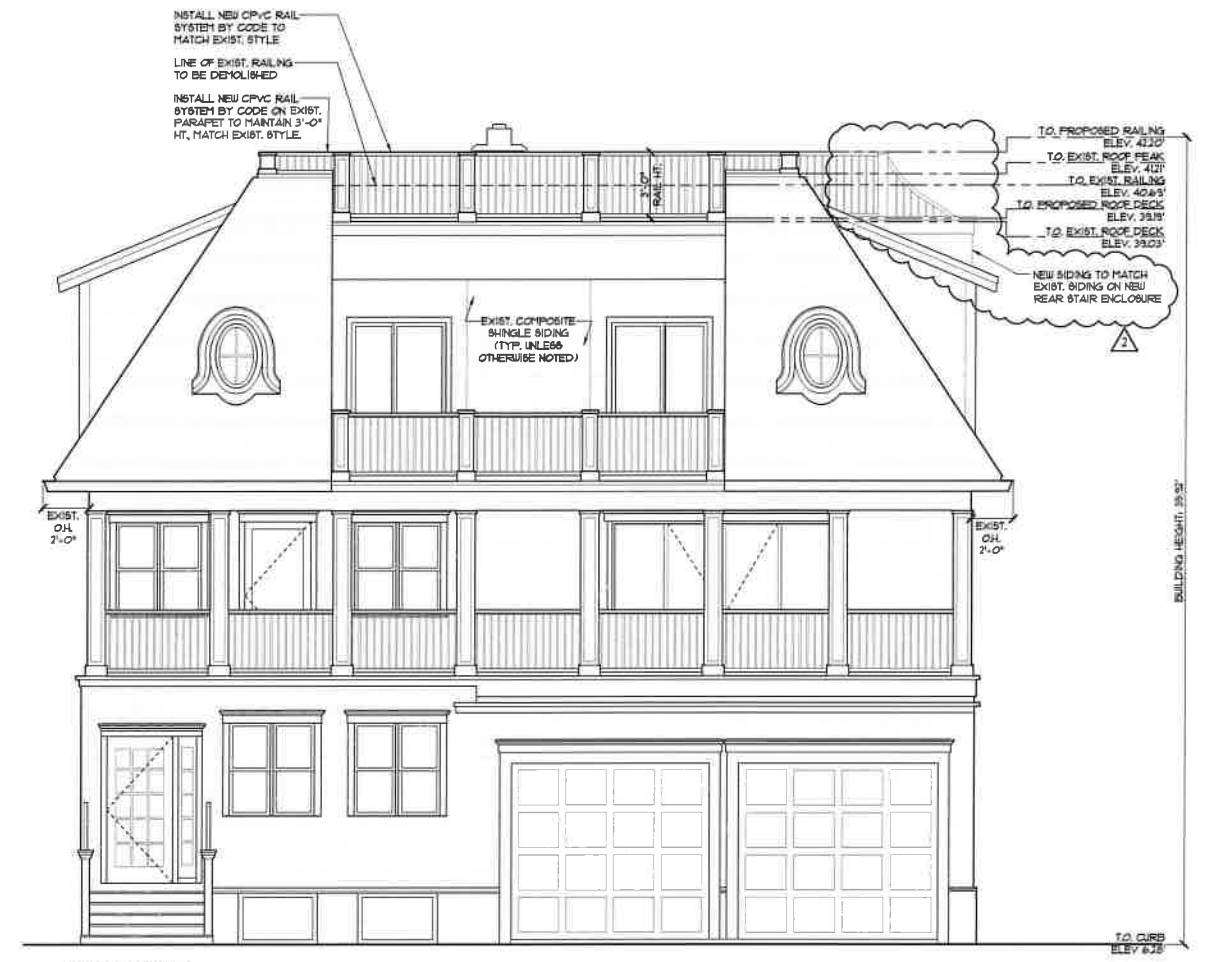
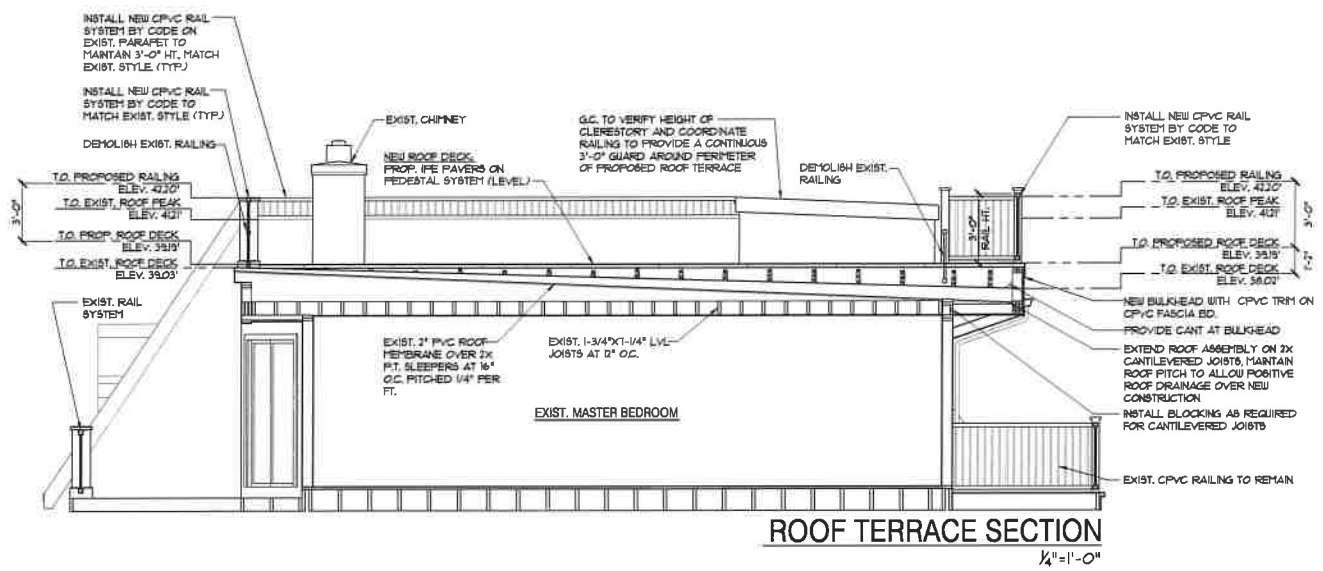
JOB NUMBER  
**2023-36**

**A-1**  
Hall





DATE	REVISION/SUBMISSION
02/06/24	INITIAL RELEASE - ZONING
04/04/24	R1 - STAR ENCLOSURE
04/16/24	R2 - STAR ENCLOSURE REVS.



March 27, 2024

Barbara Ilaria, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R2230  
Variance – Young/Estate of Emily Zirkler  
Block 168, Lot 16  
139 First Avenue  
R-5 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Architectural Floorplans, Elevations, and Site Plan, prepared by Kelly Nemergut, RA, of N2 Architecture, dated February 12, 2024.
2. Boundary and Topographic Survey prepared by William Fiore, PLS, of William J. Fiore, Inc., dated March 9, 2010. The survey has been highlighted to show the locations of the proposed improvements.

The property is located in the R-5 Residential Zone with frontage on First Avenue and Riddle Way. With this application, the applicant proposes to elevate the existing single family dwelling, enclose a portion of the existing covered front porch, add a second floor front balcony, revise the roof structure, and modify the front steps to accommodate the house raising. Interior modifications and revised walkways are also proposed. The ground level garage at the rear of the dwelling is to remain. The application is deemed complete as of March 27, 2024.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-5 Residential Zone, where the existing and proposed residential use is permitted.
2. The following 'c' variance is required as part of this application:
  - a. A minimum side yard setback (corner) of 7 feet is required to Riddle Way, whereas 5.2 feet exists and is proposed.
  - b. A minimum front yard setback of 10 feet is required to First Avenue, whereas 7.04 feet exists to the porch and is proposed to the new enclosed area.



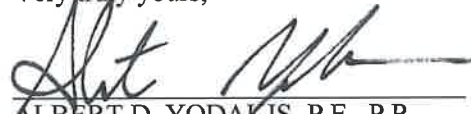
Re: Boro File No. MSPB-R2230  
Variance – Young/Estate of Emily Zirkler  
Block 168, Lot 16

March 27, 2024  
Sheet 2

- c. A maximum building coverage of 35% is permitted, whereas a coverage of 39.5% exists.
  - d. A minimum mechanical side yard setback (corner) of 7 feet is required to the proposed air conditioning unit, whereas approximately 6 feet is proposed.
3. The following variances exist and will not be modified as part of this application:
  - a. A minimum lot frontage of 40 feet is required, whereas a lot frontage of 26.72 feet exists.
  - b. A minimum lot area of 2,700 square feet is required, whereas a lot area of 2,672 square feet exists.
4. The base flood elevation (BFE) for this property is 10 feet. The applicant's existing finish floor elevation is at 9.8 and the proposed raising will increase the finish floor to an elevation of 11.16.
5. The applicant should indicate if there are any grading changes proposed or fill to be imported to the property as part of the application. If so, a revised grading plan must be provided.
6. If the property has existing stormwater recharge systems for the downspouts, they must be reconnected after the dwelling has been raised.
7. The existing air conditioning unit is to be elevated on the rear wall of the dwelling. A proposed elevation has not been provided but it will need to be installed above the BFE.
8. Any curb must be replaced along First Avenue and Riddle Way as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy



Re: Boro File No. MSPB-R2230  
Variance – Young/Estate of Emily Zirkler  
Block 168, Lot 16

March 27, 2024  
Sheet 3

cc: George McGill, esq., Planning Board Attorney  
Kelly Nemergut, RA  
N2 Architecture, 516a Lincoln Avenue, Avon-by-the-Sea, NJ 07717  
Megan Young, Estate of Emily Zirkel  
200 Park at North Hills Street, Apt 444, Raleigh, NC 27609

MICHAEL W. MANGAN  
Mayor

BARBARA ILARIA  
Municipal Clerk

THOMAS F. FLARITY  
Municipal Administrator

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

**APPLICATION TO THE PLANNING BOARD**

\*Applicant's Name: Megan Young/Estate of Emily J. Zirkel

\*Applicant's Address: 200 Park at North Hills Street, Apt 444 Raleigh, NC 27609

\*Telephone Number: Home: \_\_\_\_\_ Cell: 973-349-6508

\*e-mail Address: myoung@hardestyhanover.com

\*Property Location: 139 First Ave, Manasquan NJ 08736

\*Block: 168 Lot: 16

\*Type of Application: Bulk Variance  
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-  
Site Plan Approval

\*Date of Zoning Officer's Denial Letter: 03/11/2024  
Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? No

\*Does the Applicant own any adjoining land? No

\*Are the property taxes paid to date? Yes

\*Have there been any previous applications to the Planning Board concerning this property? Yes  
(Attach copy)

\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this  
property? No  
(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this  
application by any experts retained by the Planning Board for advice in this matter.

Megan E Young  
Signature of Applicant or Agent

03/11/2024  
Date

10/2023

MICHAEL W. MANGAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIR...  
Supervisor of  
Construction / Code

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

STEVEN J. WINTERS, CFM  
Construction Official

AMY SPERA  
Chief Financial Officer

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
201 EAST MAIN STREET  
NEW JERSEY 08736  
732-223-0544 • Fax 732-223-1300

RICHARD FUREY  
Zoning Officer

March 11, 2024

Megan Young  
200 Park Avenue at North Hills Street – Apt 444  
Raleigh, NC 27609

Re: Block: 168 Lot: 16 Zone: R-5 Flood Zone: AE BFE: 9ft. DFE: 10ft.  
139 First Avenue – Estate of Zirkler

Dear Ms. Young:

On this date we reviewed your application for the following project.

Elevate the existing single family dwelling and front porch above the base flood elevation on the existing building footprint, construct a first floor addition, enclose second floor side deck and other interior alterations and renovations.

Survey prepared by William Fiore on March 9, 2010. Conceptual plans prepared by Kelly Nemergut on February 12, 2024.

**Application denied for the following reason(s):**

Section 35-9.4 – Lot Frontage – 40ft. Required  
26.72ft. Existing

“ - Lot Area – 2,700s.f. Required  
2,672s.f. Existing

“ - Front Setback – 10ft. Required  
7ft. Existing and proposed

“ - Side Setback (Left) – 7ft. Required  
5.2ft. Existing and proposed

“ - Building Coverage – 35% Permitted  
39.5 Existing

Additional required documentation:

- Plans revised to show building height measured off the top of curb.

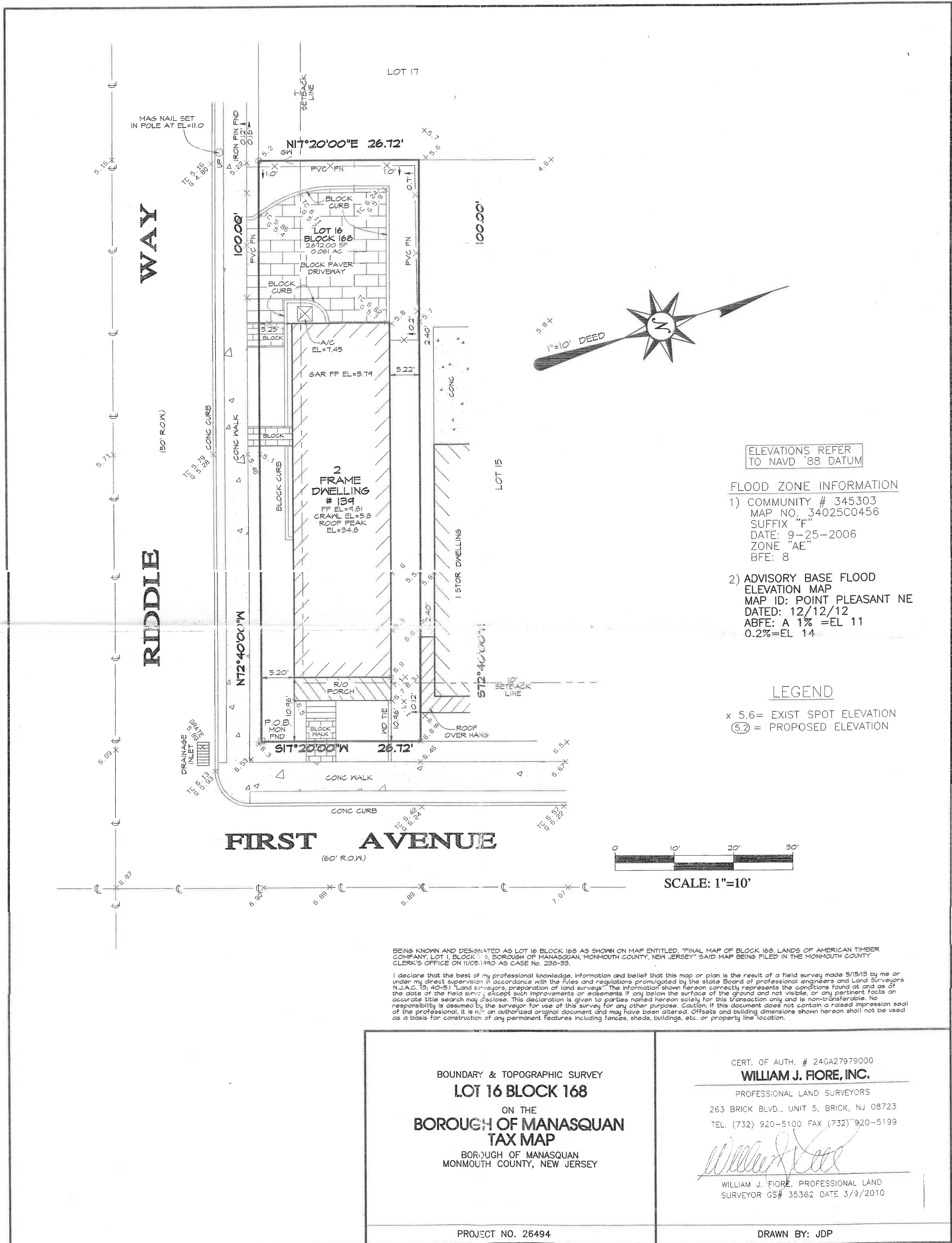
If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer





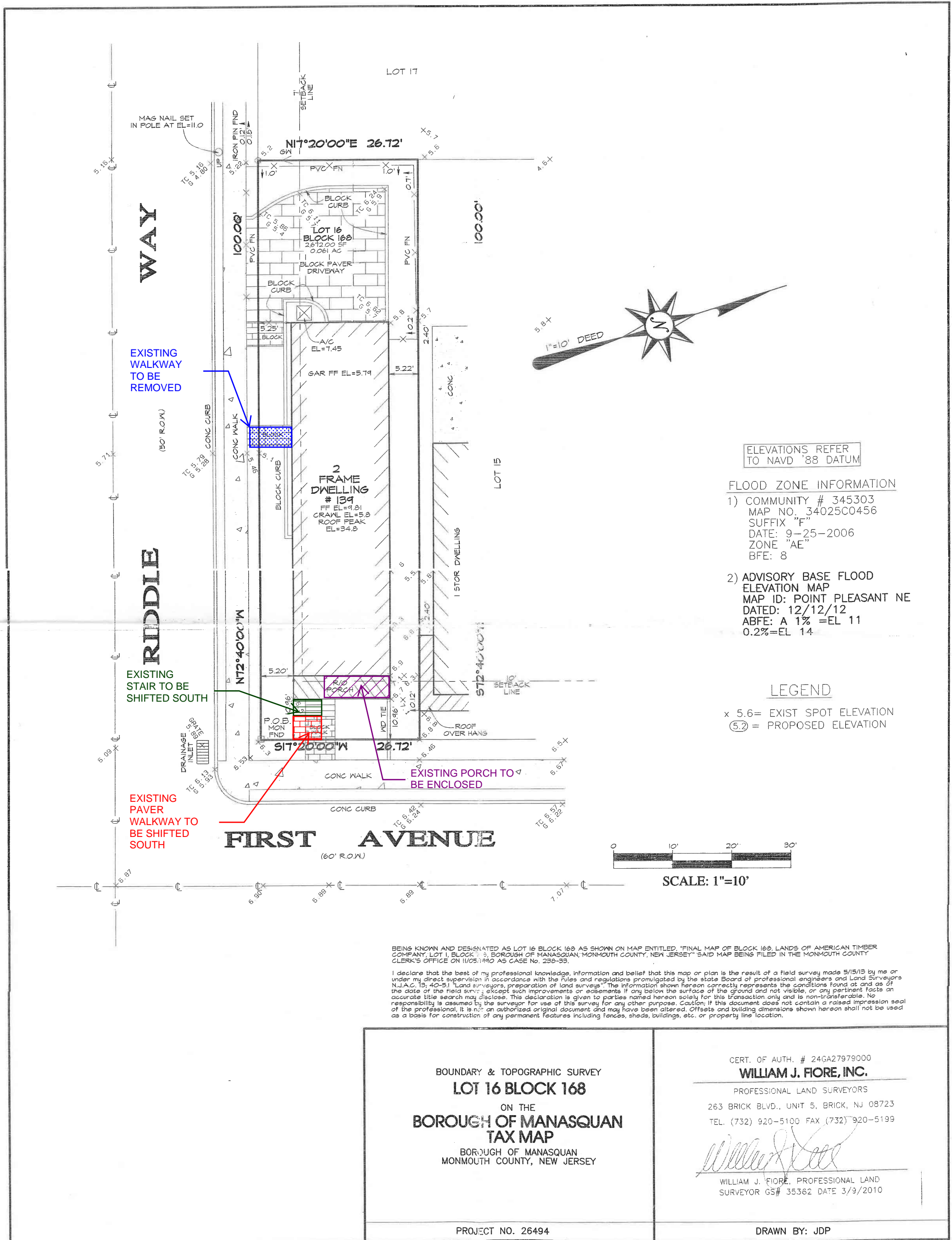
BOUNDARY & TOPOGRAPHIC SURVEY  
**LOT 16 BLOCK 168**  
ON THE  
**BOROUGH OF MANASQUAN**  
**TAX MAP**  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY, NEW JERSEY

CERT. OF AUTH. # 24GA27979000  
**WILLIAM J. FIORE, INC.**  
PROFESSIONAL LAND SURVEYORS  
263 BRICK BLVD., UNIT 5, BRICK, NJ 08723  
TEL. (732) 920-5100 FAX (732) 920-5199

*William J. Fiore*  
WILLIAM J. FIORE, PROFESSIONAL LAND SURVEYOR GS# 35362 DATE 3/9/2010

PROJECT NO. 26494

DRAWN BY: JDP



ELEVATIONS REFER TO NAVD '88 DATUM

FLOOD ZONE INFORMATION

- 1) COMMUNITY # 345303  
 MAP NO. 34025C0456  
 SUFFIX "F"  
 DATE: 9-25-2006  
 ZONE "AE"  
 BFE: 8
- 2) ADVISORY BASE FLOOD ELEVATION MAP  
 MAP ID: POINT PLEASANT NE  
 DATED: 12/12/12  
 ABFE: A 1% =EL 11  
 0.2% =EL 14

LEGEND

- x 5.6 = EXIST SPOT ELEVATION
- (5.2) = PROPOSED ELEVATION

BEING KNOWN AND DESIGNATED AS LOT 16 BLOCK 168 AS SHOWN ON MAP ENTITLED, "FINAL MAP OF BLOCK 168, LANDS OF AMERICAN TIMBER COMPANY", LOT 1, BLOCK 168, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY" SAID MAP BEING FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON 11/05/1990 AS CASE No. 238-33.

I declare that the best of my professional knowledge, information and belief that this map or plan is the result of a field survey made 5/15/13 by me or under my direct supervision in accordance with the Rules and regulations promulgated by the state Board of professional engineers and Land Surveyors N.J.A.C. 13:40-51. Land surveys, preparation of land surveys. The information shown hereon correctly represents the conditions found at and as of the date of the field survey except such improvements or easements if any below the surface of the ground and not visible, or any pertinent facts an accurate title search may disclose. This declaration is given to parties named hereon solely for this transaction only and is non-transferable. No responsibility is assumed by the surveyor for use of this survey for any other purpose. Caution: If this document does not contain a raised impression seal of the professional, it is not an authorized original document and may have been altered. Offsets and building dimensions shown hereon shall not be used as a basis for construction of any permanent features including fences, sheds, buildings, etc. or property line location.

BOUNDARY & TOPOGRAPHIC SURVEY  
**LOT 16 BLOCK 168**  
 ON THE  
**BOROUGH OF MANASQUAN**  
**TAX MAP**  
 BOROUGH OF MANASQUAN  
 MONMOUTH COUNTY, NEW JERSEY

CERT. OF AUTH. # 24GA27979000  
**WILLIAM J. FIORE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 263 BRICK BLVD., UNIT 5, BRICK, NJ 08723  
 TEL. (732) 920-5100 FAX (732) 920-5199

*William J. Fiore*  
 WILLIAM J. FIORE, PROFESSIONAL LAND SURVEYOR GS# 35362 DATE 3/9/2010

PROJECT NO. 26494

DRAWN BY: JDP

ZONING REQUIREMENTS							
ZONE		R-5					
139 First Ave, Manasquan, NJ lot 16, block 168							
Minimum Lot Requirements	Required	Existing	Proposed				
Min. Lot Area	2,700 sqft	2,672.0 sqft	2,672.0 sqft	Existing nonconformity			
Min. Lot Frontage (First Ave)	40 ft	26.72 ft	26.72 ft	Existing nonconformity			
Minimum Yard Requirements							
Front Yard Setback (First Ave)	10 ft	7.04 to covered front porch	7.04 to house	Existing nonconformity with expansion			
Front Yard Setback (Riddle Way)	7 ft	5.2 ft	NC	Existing nonconformity with expansion			
Side Yard Setback	5 ft	5.22 ft	NC				
Rear Yard Setback	20 ft	27.9 ft	NC				
Max. Building Height	33 (nonconforming lot)	28.5 ft	27.9 and 29.9 ft				
Max. Number of Stories	2 1/2	2	2				
Building and Lot Coverage							
Max. Building Coverage	35%	39.5%	39.5%	Existing nonconformity without expansion			
Max. Lot Coverage	50%	39.5%	39.5%				
Areas							
Building area		1,055.2 sqft	1,055.2 sqft				
Impervious area		1,055.2 sqft	1,055.2 sqft				

Building Area	Existing	Proposed	
Building	992.0	992.0	
Covered porch	63.2	-	
Proposed covered porch	-	21.8	
Proposed porch area added to house	-	41.4	
Total building area	1,055.2	1,055.2	


  

Impervious Area	Existing	Proposed	
Existing Permeable paver Driveway	436.0	436.0	not included in impervious coverage calc
Permeable paver walkway (Riddle Way)	42.0	21.0	not included in impervious coverage calc
Permeable paver walkway (First Ave)	35.2	44.5	not included in impervious coverage calc
Permeable paver landing at meter	-	12.0	not included in impervious coverage calc
Sub impervious area	0	0	
Total with building	1,055.2	1,055.2	

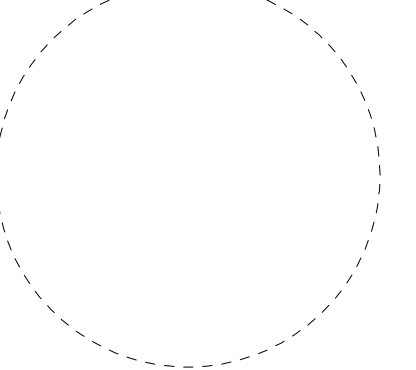
**DIMENSION NOTE**

ALL DIMENSIONS OF NEW WALLS ARE SHOWN AND MEASURED FROM FACE OF FRAMING. FINAL WALL FINISHES ARE NOT INCLUDED.

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516a LINCOLN AVENUE  
AVON-BY-THE-SEA  
NEW JERSEY  
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NJ Certificate of Authorization AC. 687

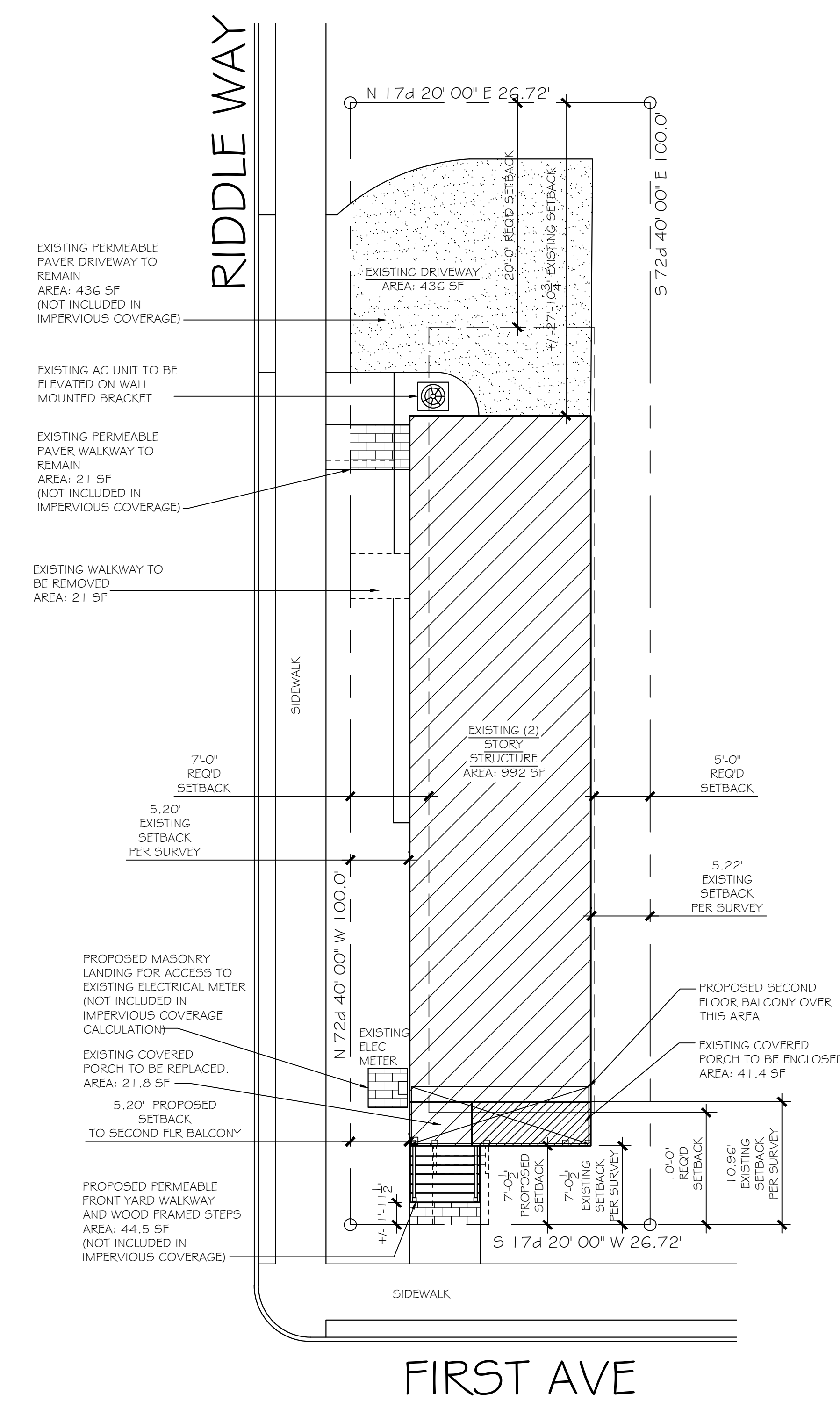
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**Young Residence**  
139 FIRST AVENUE  
MANASQUAN, NEW JERSEY  
LOT: 16 BLOCK 168

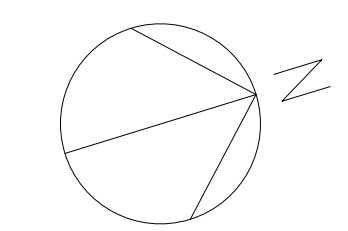
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PROJECT NO: 2310  
DRAWN: MN  
CHECKED: KJN/MRN  
ISSUED FOR: ZONING APPROVAL

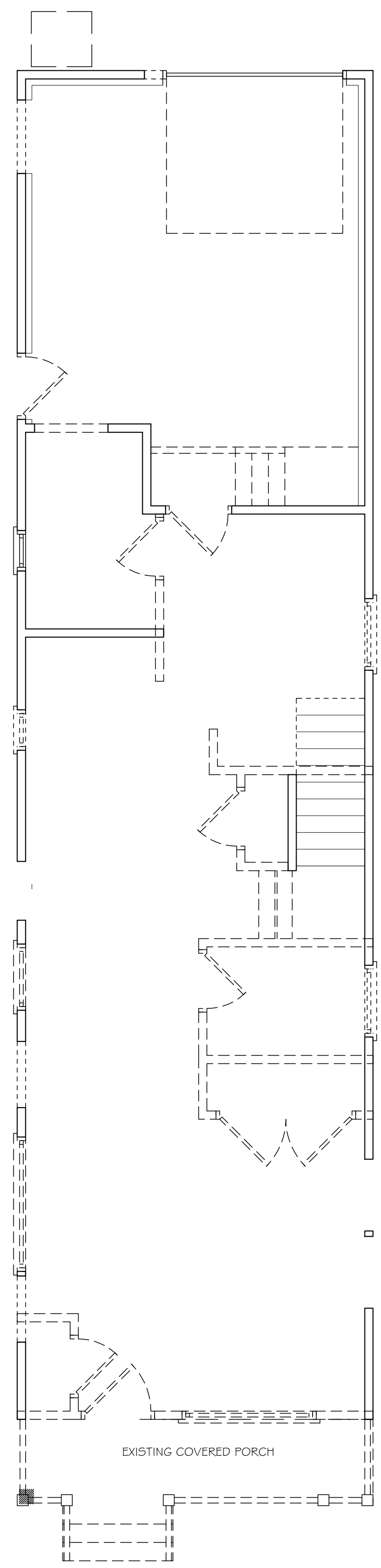
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03.06.24  
ZONING APPLICATION

**AS-1**

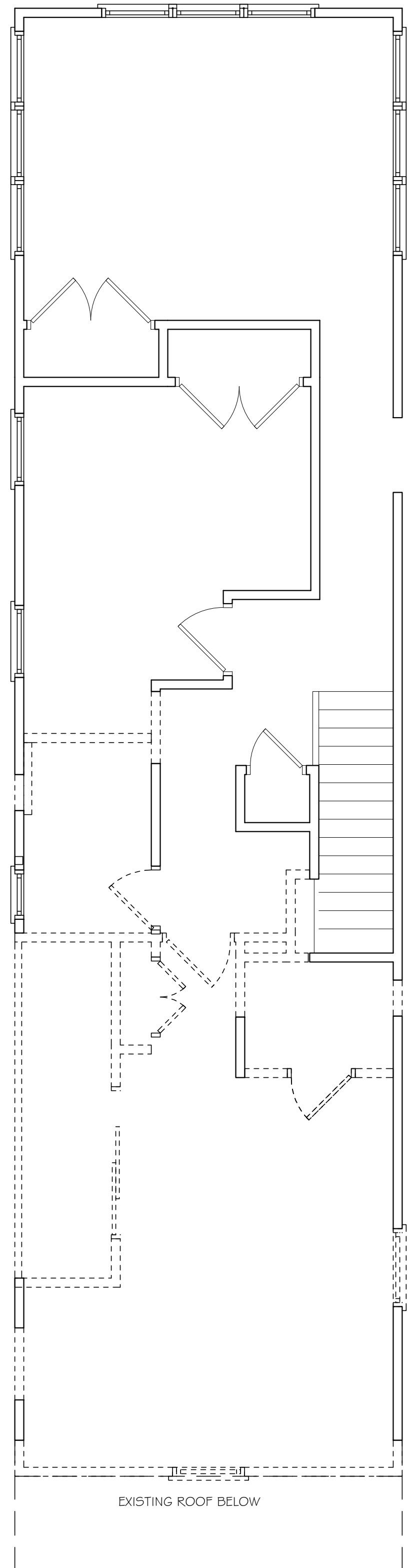


1 PROPOSED SITE DIAGRAM  
1/8" = 1'-0"

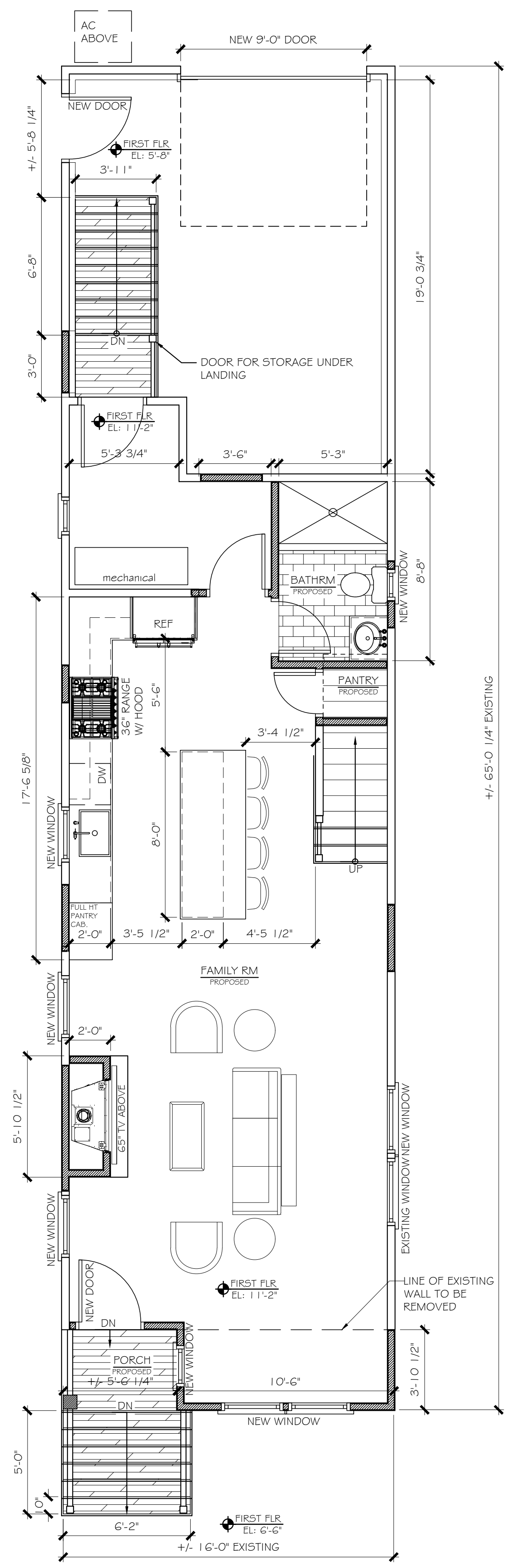




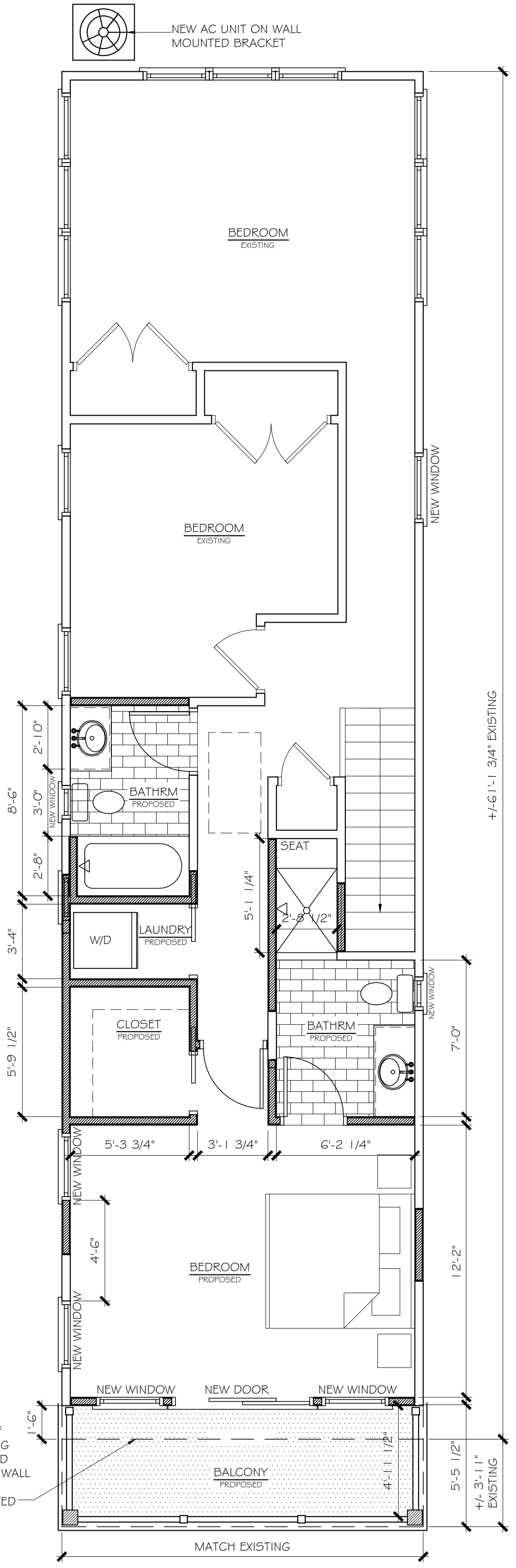
(E1) EXISTING FIRST FLOOR DEMO PLAN  
1/4" = 1'-0"



(E2) EXISTING SECOND FLOOR DEMO PLAN  
1/4" = 1'-0"



(1) PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



(2) PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

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**Wall Legend**

	OR	NEW FRAMED WALL
	OR	NEW MASONRY WALL
	OR	EXISTING WALL TO REMAIN
		EXISTING WALL TO BE REMOVED
		NEW DOOR IN NEW OR EXISTING WALL
		EXISTING DOOR TO REMAIN

ETR = EXISTING TO REMAIN

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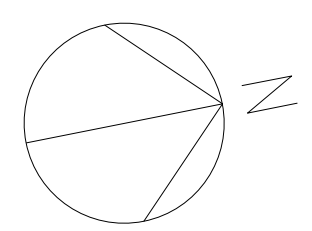
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LOT: 16 BLOCK 168

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ZONING APPLICATION

**A-1.0**



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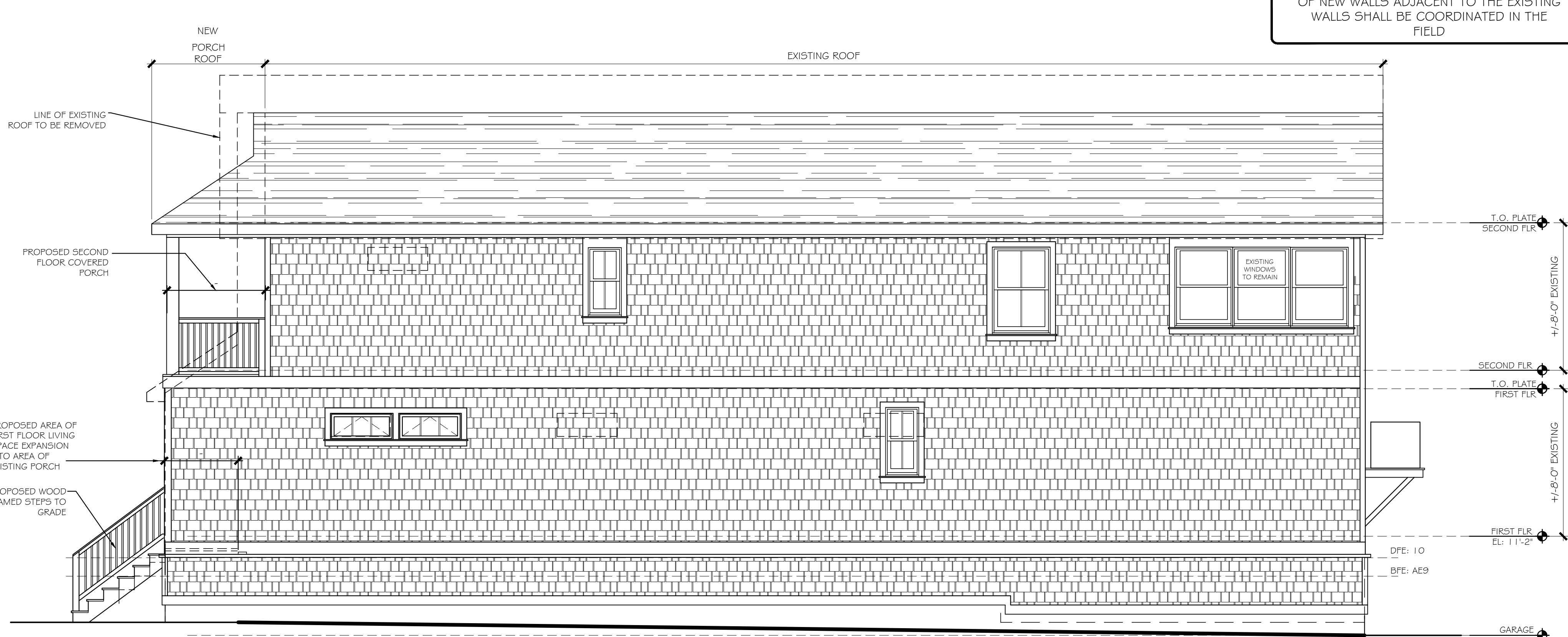
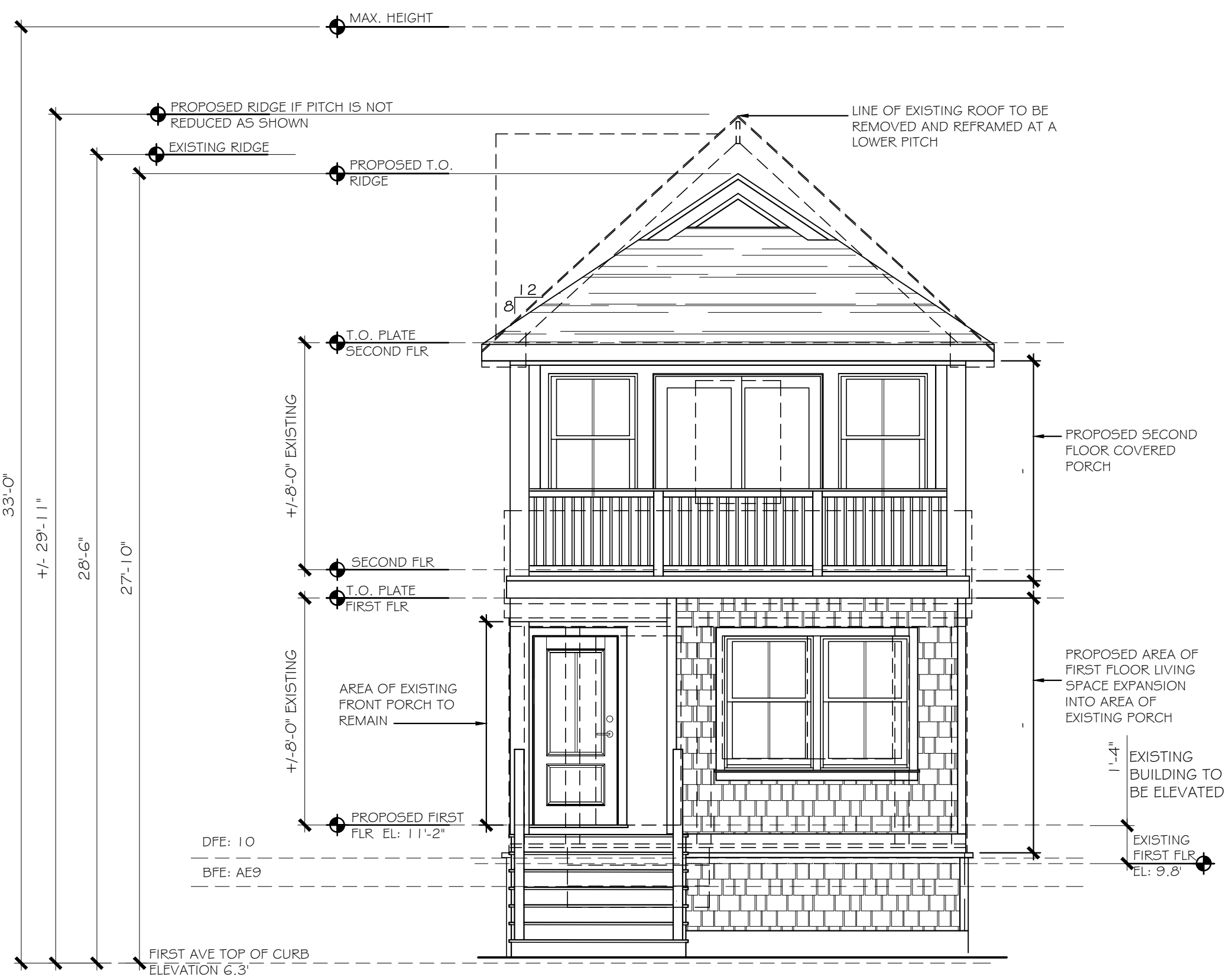
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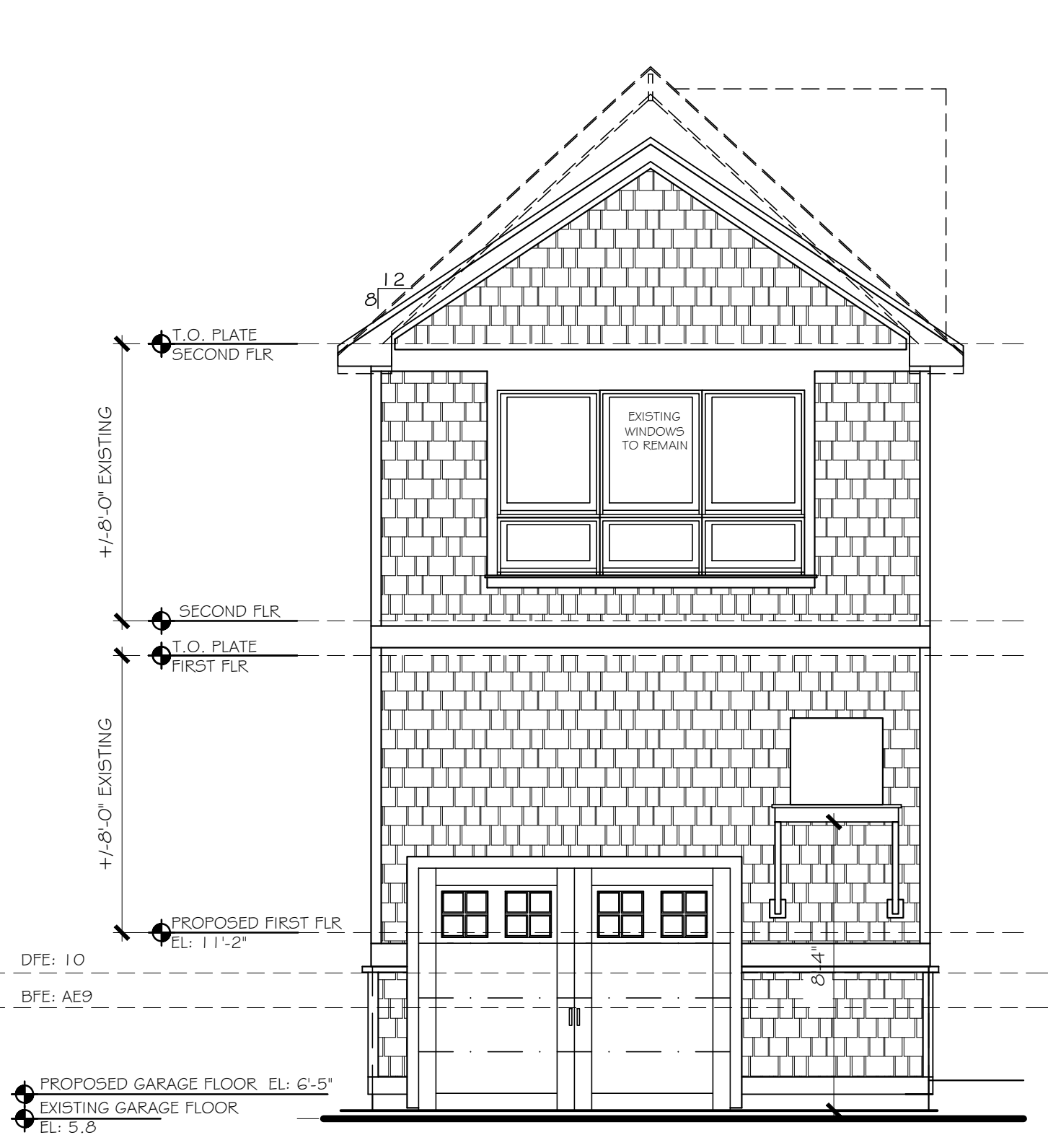
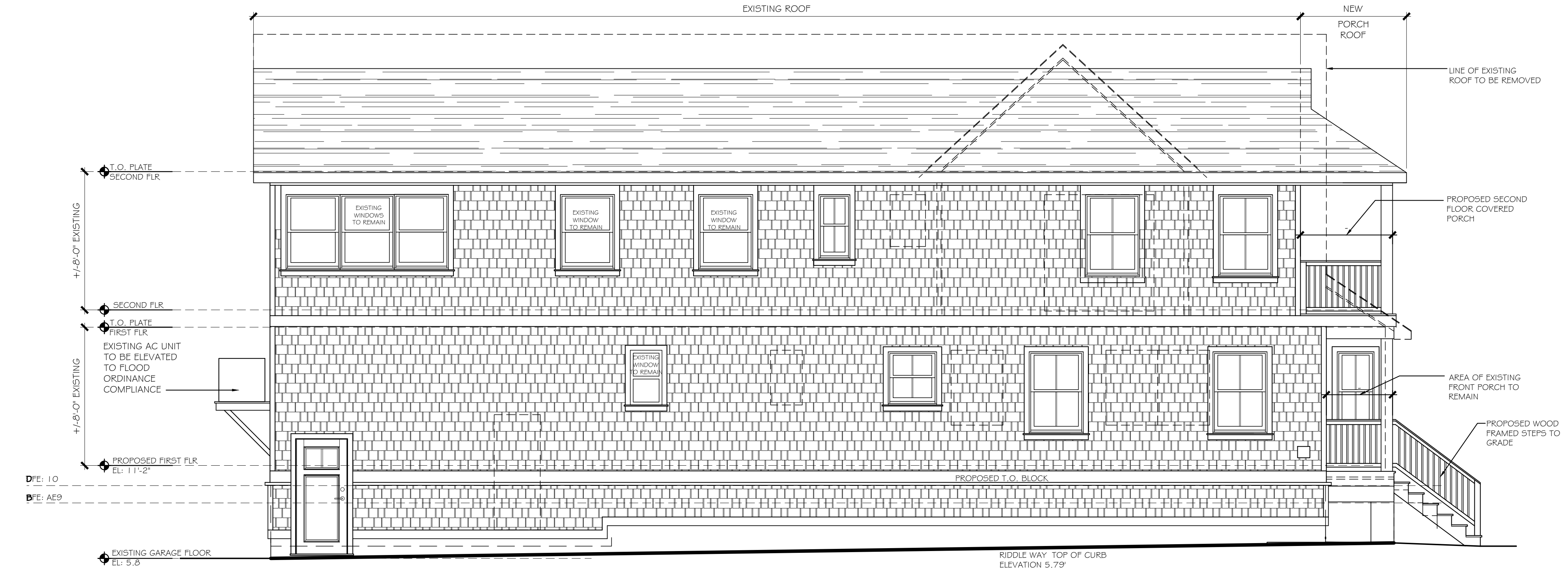
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**A-2.0**



2 EXTERIOR ELEVATION - FIRST AVENUE  
1/4" = 1'-0"

2 EXTERIOR ELEVATION - NORTH ELEVATION  
1/4" = 1'-0"



1 EXTERIOR ELEVATION - RIDDLE WAY  
1/4" = 1'-0"

4 EXTERIOR ELEVATION - EAST  
1/4" = 1'-0"